

Title	Planning Applications
To:	Planning Control Committee
On:	21 May 2019
By:	Development Manager
Status:	For Publication

Executive Summary

The attached reports present members with a description of various planning applications, the results of consultations, relevant policies, site history and issues involved.

My recommendations in each case are given in the attached reports.

This report has the following implications

Township Forum/ Ward: Identified in each case.

Policy: Identified in each case.

Resources: Not generally applicable.

Equality Act 2010: All planning applications are considered in light of the Equality Act 2010 and associated Public Sector Equality Duty, where the Council is required to have due regard for:
The elimination of discrimination, harassment and victimisation;
The advancement of equality of opportunity between persons who share a relevant protected characteristic and person who do not share it;
The fostering of good relations between persons who share a relevant protected characteristic and person who do not share it; which applies to people from the protected equality groups.

Human Rights: All planning applications are considered against the provisions of the Human Rights Act 1998.

Under Article 6 the applicants (and those third parties who have made representations) have the right to a fair hearing and to this end full consideration will be given to their comments.

Article 8 and Protocol 1 of the First Article confer a right to respect private and family life and a right to the protection of property, ie peaceful enjoyment of one's possessions which could include a person's home, and other land and business assets.

In taking account of the Council policy as set out in the Bury Unitary Development Plan 1997 and all material planning considerations, I have concluded on balance that the rights conferred upon the applicant/ objectors/ residents/ other interested party by Article 8 and Article 1 of the First Protocol may be interfered with, since such interference is in accordance with the law and is justified in the public interest. Any restriction of these rights posed by refusal/ approval of the application is legitimate since it is proportionate to the wider benefits of such a decision, is based

upon the merits of the proposal, and falls within the margin of discretion afforded to the Council under the Town & Country Planning Acts.

The Crime and Disorder Act 1998 imposes (without prejudice to any other obligation imposed on it) a duty upon the Council to exercise its functions and have due regard to the likely effect of the exercise of its functions on, and the need to do all that it reasonably can to prevent crime and disorder in its area. In so doing and on making planning decisions under the Town and Country Planning Acts, the Planning Control Committee shall have due regard to the provisions of the Crime and Disorder Act 1998 and its implications in the exercise of its functions.

Development Manager

Background Documents

1. The planning application forms and plans submitted therewith.
2. Certificates relating to the ownership.
3. Letters and Documents from objectors or other interested parties.
4. Responses from Consultees.

FOR FURTHER INFORMATION ON THE CONTENTS OF EACH REPORT PLEASE CONTACT INDIVIDUAL CASE OFFICERS IDENTIFIED IN EACH CASE.

- 01 Township Forum - Ward:** North Manor **App No.** 63038
- Location:** Barns 1 & 2, (adjacent to 1 Summerseat Lane), 27 Pot Green, Ramsbottom, Bury, BL0 9RG
- Proposal:** Change of use of existing barns to yoga and leisure use including glass link between the barns for domestic use
- Recommendation:** Approve with Conditions **Site Visit:** N
-
- 02 Township Forum - Ward:** North Manor **App No.** 63039
- Location:** Barns 1 & 2, (adjacent to 1 Summerseat Lane), 27 Pot Green, Ramsbottom, Bury, BL0 9RG
- Proposal:** Listed building consent for change of use of existing barns to yoga and leisure use including glass link between the barns for domestic use
- Recommendation:** Approve with Conditions **Site Visit:** N
-
- 03 Township Forum - Ward:** Ramsbottom and Tottington - Ramsbottom **App No.** 63617
- Location:** Land to the west of Manchester Road, Ramsbottom, Bury, BL0 0BZ
- Proposal:** Reserved matters application relating to outline planning application - 60370 for the erection of 35 no. dwellings with approval sought for the remaining matters
- Recommendation:** **Site Visit:** N
-
- 04 Township Forum - Ward:** Ramsbottom + Tottington - Tottington **App No.** 63785
- Location:** Elton High School, Walshaw Road, Bury, BL8 1RN
- Proposal:** Creation of new artificial grass pitch (AGP) and installation of new 4.5m high ball stop fencing and entrance gates to AGP perimeter, new 2.0m high and 1.2m high pitch perimeter barrier and entrance gates within AGP enclosure, new hard standing areas, new floodlight system and new maintenance equipment store located within AGP enclosure
- Recommendation:** Approve with Conditions **Site Visit:** Y
-
- 05 Township Forum - Ward:** Bury West - Elton **App No.** 63834
- Location:** Land north of Green Street, Bury, BL8 1TF
- Proposal:** Erection of 2 no. semi-detached dwellings
- Recommendation:** Approve with Conditions **Site Visit:** N
-

Ward: North Manor

Item 01

Applicant: Mrs Shelley Walsh

Location: Barns 1 & 2, (adjacent to 1 Summerseat Lane), 27 Pot Green, Ramsbottom, Bury, BL0 9RG

Proposal: Change of use of existing barns to yoga and leisure use including glass link between the barns for domestic use

Application Ref: 63038/Full

Target Date: 04/09/2018

Recommendation: Approve with Conditions

Description

The site is located within the Pot Green Conservation Area and consists of a dwelling house (No. 27 Pot Green), a detached garage, a piggery building and a barn, which is attached to No. 1 Summerseat Lane, that is in a separate ownership. All the buildings are constructed from stone and slate. As No. 1 Summerseat Lane is a Grade II listed building, the attached barn, which is the subject of this application is also listed.

The site is surrounded by residential dwellings to the east, south and west and residential dwellings to the north beyond Holcombe Brook.

The proposed development involves the conversion of the existing barn and piggery to a building used for yoga and leisure for domestic purposes. A glazed link would connect the two buildings. All existing openings would be retained and there would be three new openings to the barn. The rear elevation of the piggery building would be rebuilt where it has bowed. Internally, one cattle stall would be removed and a second cattle stall would be retained.

The proposed building would be used as ancillary living accommodation and would not be used as a business - this would require planning permission. Access to the site would be via the existing accesses from Pot Green and Summerseat Lane.

Relevant Planning History

54366 - Two storey garage with first floor for use as home office (resubmission) at 27 pot Green, Bury. Approved with conditions - 12 October 2011.

54367 - Listed Building Consent: Conversion of barn (Building A) and outbuilding (Building B) to one dwelling with link in between; Construction of new dwelling (Building D) with alterations to existing garage (Building C) to add first floor for use as home office; New two storey garage to no. 27 Pot Green (resubmission) at 27 Pot Green, Bury. Withdrawn - 20 October 2011.

Application was withdrawn as required an updated bat survey.

54368 - Conversion of barn (Building A) and outbuilding (Building B) to one dwelling with link inbetween; Construction of new dwelling (Building D) with alterations to existing garage (Building C) to add first floor for use as home office (resubmission) at 27 Pot Green, Bury. Withdrawn - 20 October 2011.

Application was withdrawn as required an updated bat survey

54574 - Erection of 1 no. dwelling at 27 Pot Green. Approved with conditions - 25 January 2012.

56678 - Single storey extension at side/rear; Single storey extension at rear; Bay window at

side; Dormer at rear at 27 Pot Green, Bury. Approved with conditions - 12 November 2013.

57146 - Single storey extension at side/rear; Single storey extension at rear; Bay window at side; Dormer at rear (resubmission of 56678) with new bay window at 27 Pot Green, Bury. Approved with conditions - 10 March 2014.

63039 - Listed building consent for change of use of existing barns to yoga and leisure use including glass link between the barns for domestic use at Barns (1 & 2) (adjacent to 1 Summerseat Lane, 27 Pot Green, Ramsbottom. Received - 10 July 2018.

Publicity

The neighbouring properties (15) were notified by means of a letter on 18 July 2018 and a press notice was published in the Bury Times on 26 July 2018. Site notices were posted on 10 August 2018.

1 letter has been received from the occupiers of 62 Summerseat Lane, which has raised the following issues:

- Although the resubmitted application asserts that the yoga and leisure facility is 'for domestic use', we are told that it will still involve additional visitors using the premises, thereby generating further traffic, parking and access issues at this narrow top end of Summerseat Lane (the main entry point to the property). There is already a problem with overflow parking from Pot Green and commercial deliveries into that vicinity.
- Once established, we are concerned that there is little to prevent the project evolving either overtly or otherwise into a commercial venture (as already exists to some degree in the main building). If done correctly, this would require further planning permission, but once up-and-running, it's likely to weaken the case against, thus compounding the problems referred to above.

The neighbouring properties were notified of revised plans on 7 May 2019.

If any further comments are received, these will be reported in the Supplementary Report.

Consultations

Traffic Section - No objections, subject to the inclusion of a condition preventing commercial use.

Conservation Officer - No objections.

Environmental Health - Pollution Control - No comments.

Unitary Development Plan and Policies

EN1/1	Visual Amenity
EN1/2	Townscape and Built Design
EN1/3	Landscaping Provision
EN2/1	Character of Conservation Areas
EN2/2	Conservation Area Control
EN2/3	Listed Buildings
EN6	Conservation of the Natural Environment
EN6/3	Features of Ecological Value
EN7	Pollution Control
EN7/2	Noise Pollution
EN7/5	Waste Water Management
H2/3	Extensions and Alterations
HT2/4	Car Parking and New Development
HT6/2	Pedestrian/Vehicular Conflict
SPD6	Supplementary Planning Document 6: Alterations & Extensions
SPD11	Parking Standards in Bury
NPPF	National Planning Policy Framework
H3/1	Assessing Non-Conforming Uses

Issues and Analysis

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning considerations. The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP Policy will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

Principle - Policy H2/3 states that applications for house extensions and alterations will be considered with regard to the following factors:

- the size, shape, design and external appearance of the proposal;
- the character of the property in question and the surrounding area;
- the amenity of adjacent properties;
- visibility for pedestrians, cyclists and drivers of motor vehicles.

The proposed development would change the use of the barn and piggery buildings to a leisure use, specifically for yoga. The applicant has confirmed that the proposed development would be for domestic use only and would not include any classes. As such, this would be secured by a condition restricting the use of the building to domestic use only.

Design, layout and impact upon heritage - The NPPF sets out the Government's planning policies and one of the core planning principles states that planning should 'conserve heritage assets in a manner appropriate to their significance, so that they can be enjoyed for their contribution to the quality of life of this and future generations.'

Paragraph 192 of the NPPF states that when determining applications, local planning authorities should take account of;

- the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation.
- the positive contribution that conservation of heritage assets can make to sustainable communities including their economic vitality; and
- the desirability of new development making a positive contribution to local character and distinctiveness.

Paragraph 193 states that when considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation and the more important the asset, the greater the weight should be. This is irrespective of whether any potential harm amounts to substantial harm, total loss or less than substantial harm to its significance.

Paragraph 196 states that where a development proposal will lead to less than substantial harm to the significance of a heritage asset, this harm should be weighed against the public benefits of the proposal including, where appropriate, securing its optimum viable use.

In order to assess whether the proposed development would make a positive contribution to the character of the conservation area and the listed building, the character of the building and the conservation area must be determined.

The building is a grade II listed building, which is attached to 1 Summerseat Lane. The applicant has submitted a heritage statement, which assesses the significance of the building and the impact of the proposed development.

EXTERNAL CHANGES - There are existing openings within the barn, which are blocked up and these would be opened up using timber windows and doors. All of the existing openings in the barn would be retained and lime pointing would be used on the external elevations, where required. Conservation rooflights would be inserted and a new opening on the northern elevation would be created, which would have a vertical emphasis. The proposed openings would have some impact upon the building, the proposed openings

would provide natural light and would ensure that the building is retained in a usable condition.

A timber glazed flat roof structure would connect the barn and the piggery building. The proposed structure would be lightweight in appearance and would represent a clear modern addition to the building and would ensure both buildings would be brought into use. Overall, the proposed works would represent an improvement to the current condition of the barn building.

On the piggery building, partial rebuilding is required on the corner to the rear elevation where the building has distorted. The reinstatement of this section of stonework would ensure that the building is fit for future use. The stone flag roof would be retained and the existing stone setts would be retained and reused in the curtilage of the buildings. The proposed works to the piggery building and the setts in the curtilage of the site and the steel posts attached to the external elevations of the piggery and barn building would be removed, which would represent an improvement to the condition and appearance of the building.

INTERNAL CHANGES - All of the internal roof timbers would be retained in the barn building. There are currently two animal stalls within the barn and one would be retained and 1 would be removed. Whilst this would represent slight harm to the building, a photographic record would be made. Re-roofing works would take place and insulation would be provided. All of the timber trusses and purlins in the barn would remain exposed and this is welcomed. The stone flag floor in the barn would be lifted to provide a concrete base and insulation and would be re-laid in the same pattern. Overall, the proposed changes would be an improvement to the condition of the barn building.

The floor in the piggery is concrete and this would be replaced by a new concrete base. As the existing floor is not original, the proposed works would maintain the appearance of the piggery building.

Therefore, the proposed development would preserve and enhance the character of the Grade II listed building and the conservation area and would be in accordance with Policies EN2/1, EN2/2, EN2/3 and EN1/2 of the Bury Unitary Development Plan and the NPPF.

Impact upon residential amenity - SPD6 provides guidance on aspect standards between residential properties and as such, would be relevant in this case.

The only new openings on the southern elevation would be rooflights. Given their location, there would be no significant adverse impact upon the privacy of the residential properties opposite.

The proposed new opening would be on the northern elevation and would overlook the garden belonging to the applicant. As such, there would be no adverse impact upon the amenity of the neighbouring properties. Therefore, the proposed development would not have a significantly adverse impact upon the amenity of the neighbouring properties in terms of privacy and outlook.

The proposed development would be used for yoga in conjunction with the adjacent residential dwelling and as such, would not generate a significant amount of noise within this residential area. As such, the proposed development would not have an adverse impact upon the amenity of the neighbouring properties by virtue of noise and would be in accordance with Policy EN7/2 of the Bury Unitary Development Plan.

Highways issues - Currently, there are two accesses to the site from Pot Green and from Summerseat Lane. The proposed development would be used for domestic purposes and this would be ensured by a condition. As such, the proposed development would not result in a significant increase in the level of traffic. The Traffic Section has no objections, subject to the inclusion of conditions relating to preventing commercial use.

The proposed site plan indicates that there would be two parking spaces within the application site and a further two spaces plus a double garage within the wider site, all of which are owned by the applicant. As the proposed use is for domestic purposes only, the level of parking provision would be acceptable. Therefore, the proposed development would not be detrimental to highway safety.

Response to objectors

All of the issues raised have been addressed in the report above.

Statement in accordance with Article 35(2) Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2015

The Local Planning Authority worked positively and proactively with the applicant to identify various solutions during the application process to ensure that the proposal comprised sustainable development and would improve the economic, social and environmental conditions of the area and would accord with the development plan. These were incorporated into the scheme and/or have been secured by planning condition. The Local Planning Authority has therefore implemented the requirement in Paragraph 38 of the National Planning Policy Framework.

Recommendation: Approve with Conditions

Conditions/ Reasons

1. The development must be begun not later than three years beginning with the date of this permission.
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.
2. This decision relates to drawings numbered CFS18-001 001, CFS18-122 002C, CFS18-122 003 and the development shall not be carried out except in accordance with the drawings hereby approved.
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.
3. A sample panel of stonework and mortar, demonstrating the colour, texture, face bond and pointing, not less than 1 sq.m in size, shall be erected on site for inspection, and approval in writing, by the Local Planning Authority prior to the commencement of the development. Samples of the roofing materials shall also be made available for inspection on site. Thereafter the development shall be constructed in the approved materials and manner of construction.
Reason. In the interests of visual amenity and to ensure a satisfactory development pursuant to Policy EN1/2 - Townscape and Built Design and Policy EN2/3 - Listed Buildings of the Bury Unitary Development Plan
4. The animal stalls shall not be removed from the building unless or until a photographic record of the animal stall has been submitted to and approved in writing by the Local Planning Authority. One animal stall shall be reinstated into the building before it is first brought into use.
Reason. To allow for the proper recording of an item of historical importance before its disturbance by the works pursuant to Policy EN2/3 - Listed Buildings of the Bury Unitary Development Plan.
5. The re-pointing shall be carried out in an appropriate lime mortar mix and without colour additives. Pointing shall be kept to the minimum which is structurally necessary, with care taken to finish the joints to match the original work and with the joints finished flushed, neatly and cleanly and the mortar brushed slightly back

from the face of the stone (or brickwork).

Reason. In order to preserve the special architectural or historic interest of the building pursuant to Policy EN2/3 - Listed Buildings of the Bury Unitary Development Plan.

6. No works to the roof shall commence unless or until details of the conservation style rooflights have been submitted to and approved in writing by the Local Planning Authority. Only the approved details shall be implemented as part of the development hereby approved.

Reason. In order to preserve the special architectural or historic interest of the building pursuant to Policy EN2/3 - Listed Buildings of the Bury Unitary Development Plan.

7. All new fenestration shall be set behind a reveal of 75 mm.

Reason: To ensure that the development has regard to the general character and appearance of the immediate locality of the site pursuant to Policy EN2/3 - Listed Buildings of the Bury Unitary Development Plan.

8. The buildings hereby permitted shall be used for the domestic purposes only. They shall not be used in part or whole for any commercial use.

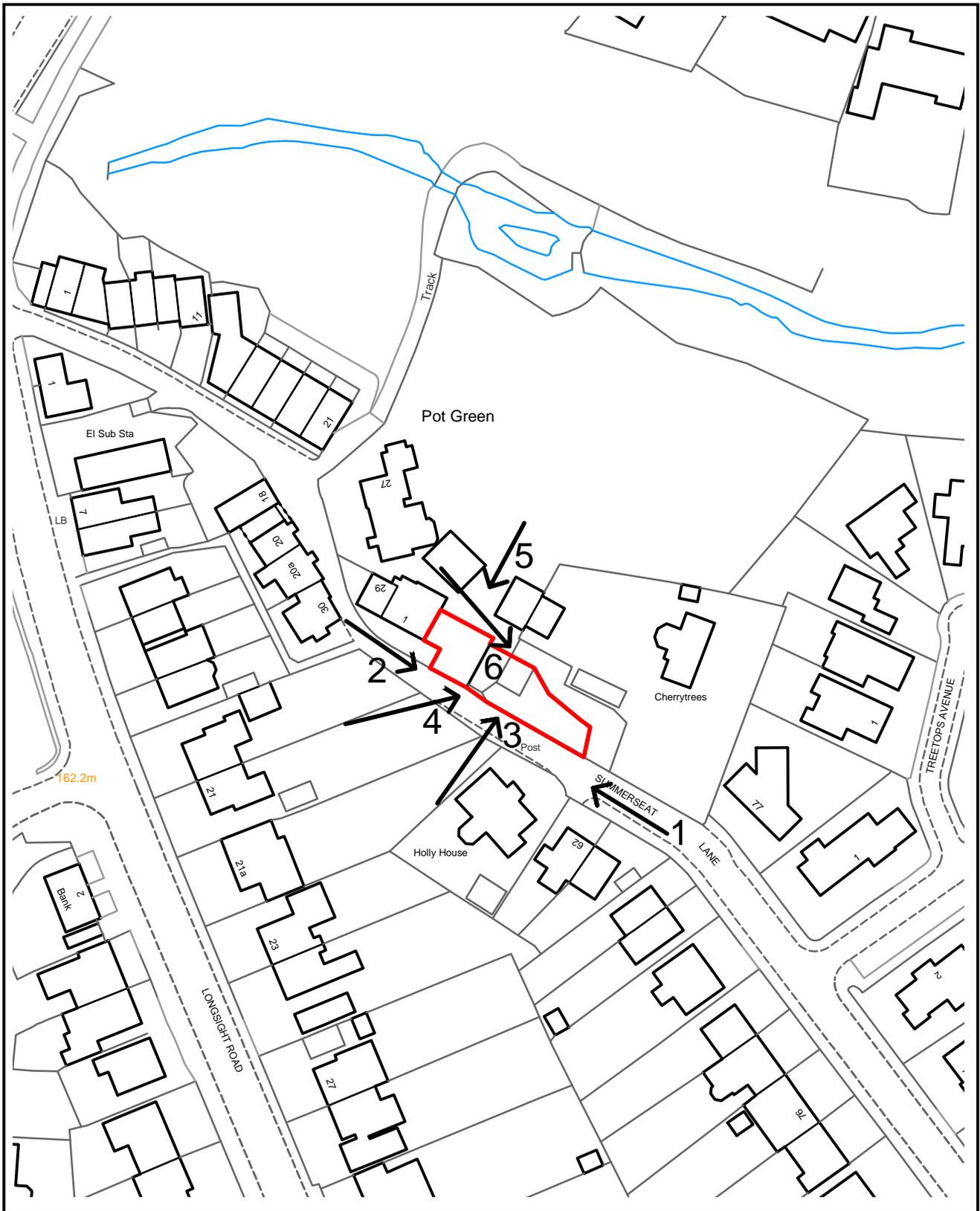
Reason. In the interests of amenity having regard to the location of the site pursuant to Policy H3/1 - Assessing Non Conforming Uses, Policy HT6/2 - Pedestrian/Vehicular Conflict and Policy EN7/2 - Noise Pollution of the Bury Unitary Development Plan.

9. The car parking indicated on the approved plans shall be surfaced, demarcated and made available for use prior to the building hereby approved being brought into use.

Reason. To ensure adequate off street car parking provision in the interests of road safety pursuant to Policy HT2/4 - Car Parking and New Development of the Bury Unitary Development Plan.

For further information on the application please contact **Helen Longworth** on **0161 253 5322**

Viewpoints



PLANNING APPLICATION LOCATION PLAN

APP. NO 63038

**ADDRESS: Barns 1 & 2, 27 Pot Green
Ramsbottom**

Planning, Environmental and Regulatory Services

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Bury
COUNCIL

63038

Photo 1



Photo 2



63038

Photo 3



Photo 4



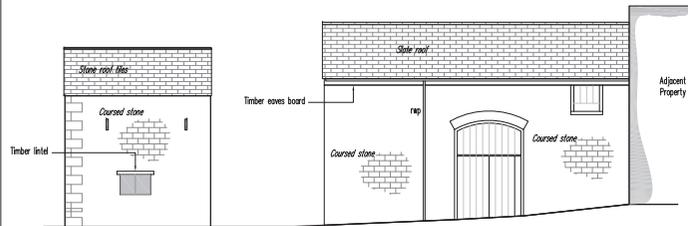
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Photo 5



Photo 6

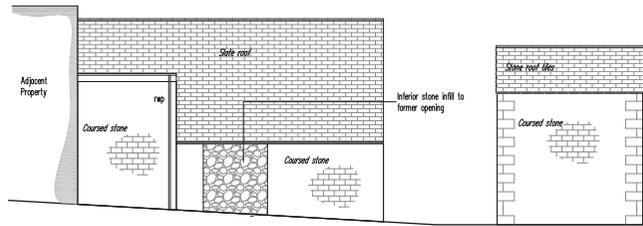




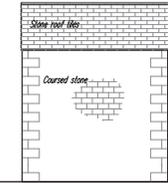
Existing North Elevation – BARN 2



Existing North Elevation – BARN 1

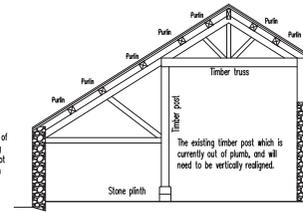


Existing South Elevation – BARN 1

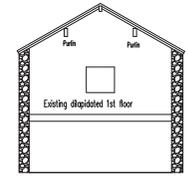


Existing South Elevation – BARN 2

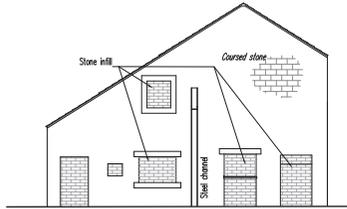
Corner stones are out of the Allow for rebuilding this corner only and not tied into east elevation



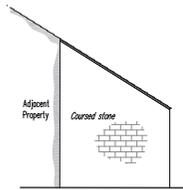
Existing Section 1 – 1



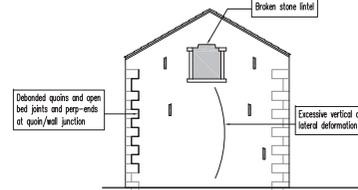
Existing Section 2 – 2



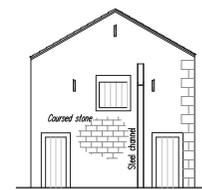
Existing East Elevation – BARN 1



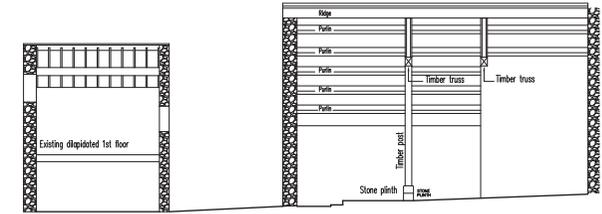
Existing West Elevation – BARN 1



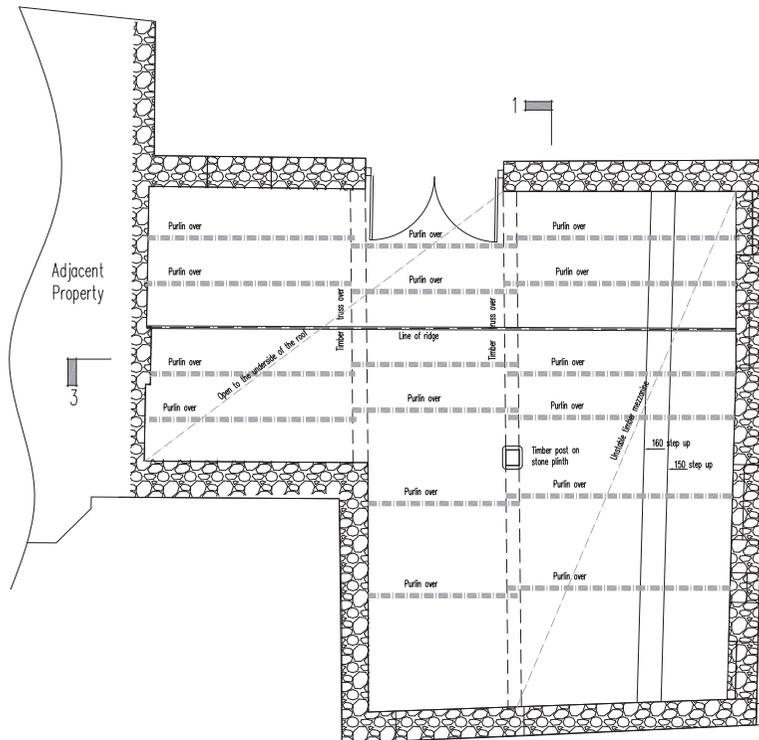
Existing East Elevation – BARN 2



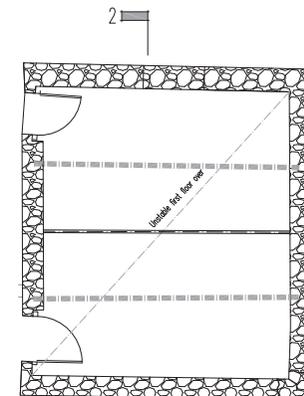
Existing West Elevation – BARN 2



Existing Section 3 – 3



Existing Ground Floor Layout (1:50)
(Indicating Structure Over)

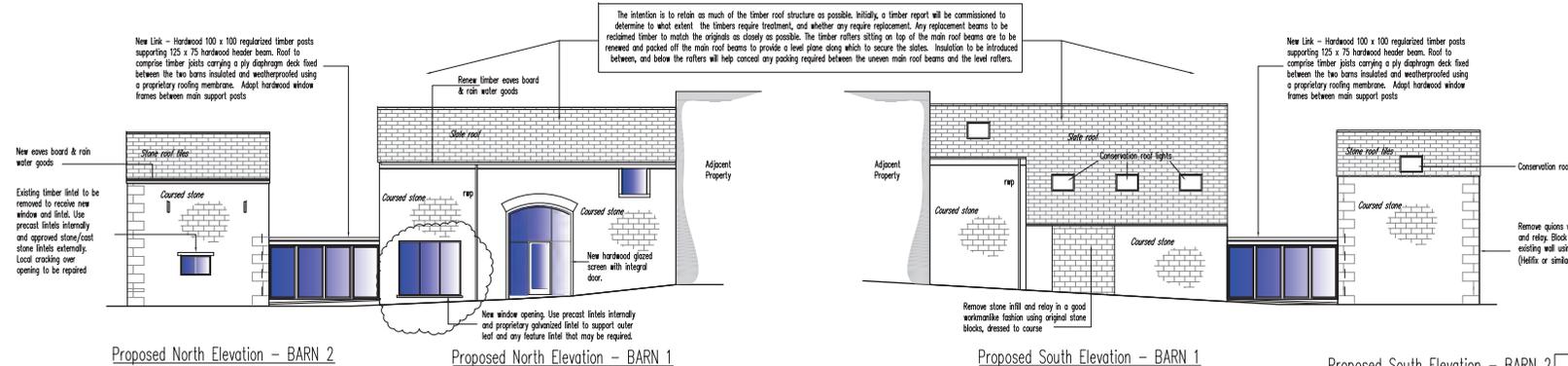


Deformation of the gable is on the limit of what is necessary to ensure long term stability

Cracking and movement of quoins

C			
B			
A			
rev	description	date	by
Project POT GREEN, RAMSBOTTOM			
Drawing Title EXISTING BARN & PIGGERY (BARN 2)			
Date	Scale	Drawn by	Checked by
OCT 2018	1:50	HWF	-
Job No.	Drng. No.	Size	Revision
CFS18-001	001	A1	-

CFA Structures
Consulting Structural Engineers
Lower Spout House Barn
Whitney Lane
Chorley,
Lancashire.
PR7 6QJ
Tel: 01257 234618
E-Mail: engineers@cfastructures.co.uk

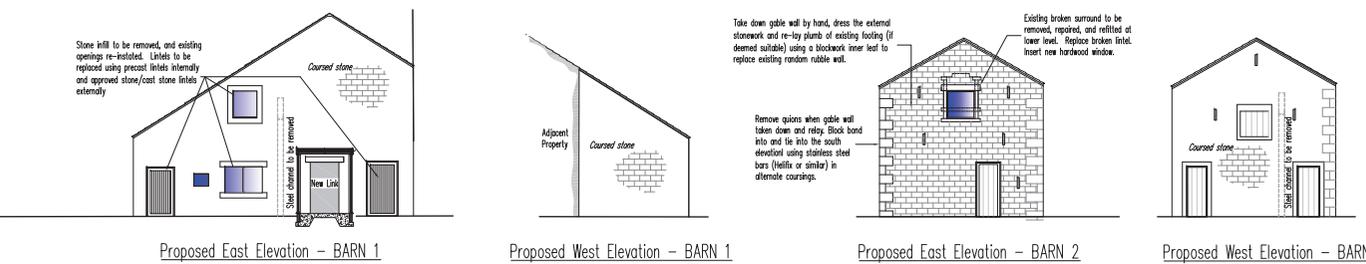


Proposed North Elevation – BARN 2

Proposed North Elevation – BARN 1

Proposed South Elevation – BARN 1

Proposed South Elevation – BARN 2

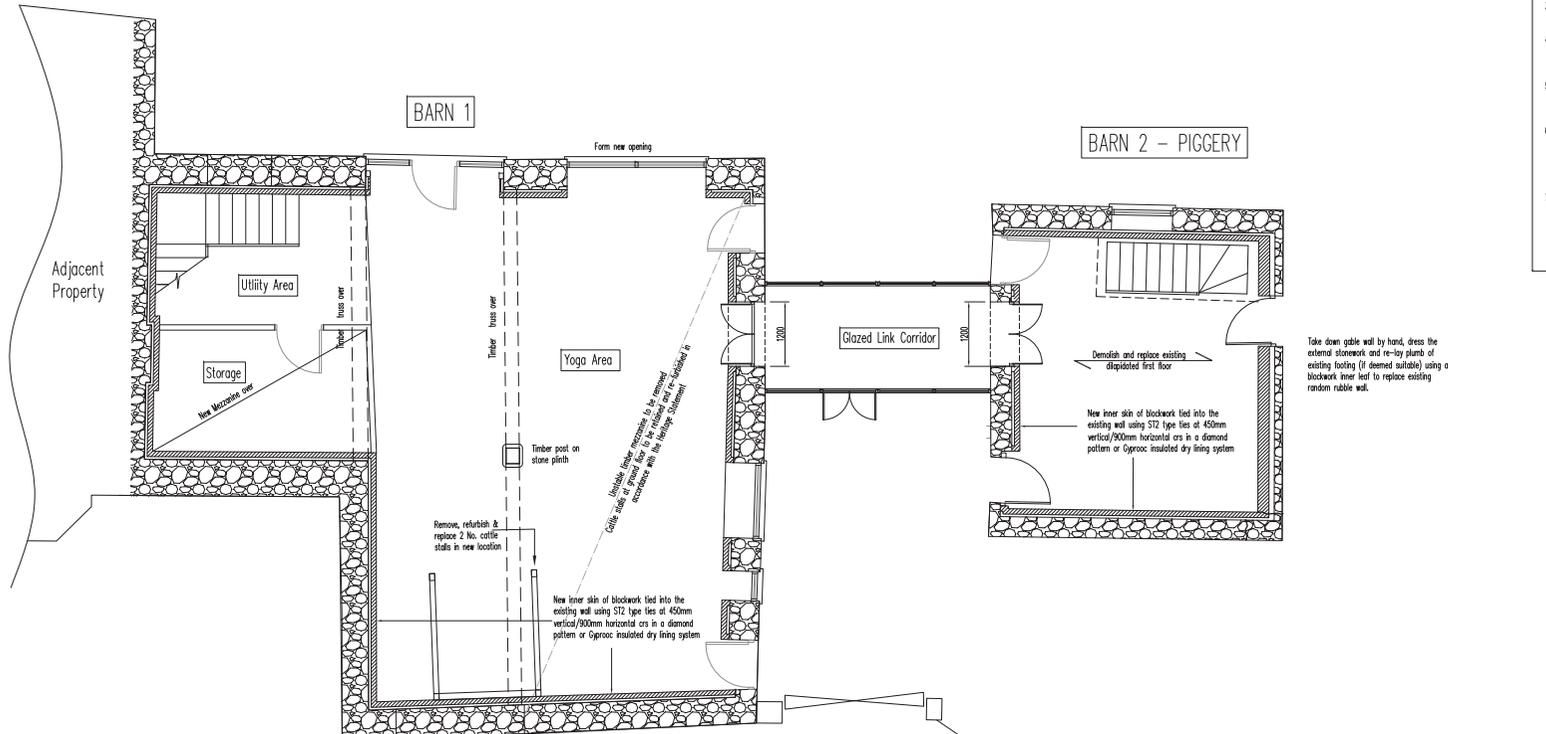


Proposed East Elevation – BARN 1

Proposed West Elevation – BARN 1

Proposed East Elevation – BARN 2

Proposed West Elevation – BARN 2



Proposed Ground Floor Layout (1:50)
(Indicating Structure Over)

- ### WORKS TO EXISTING BARNs
- Refer also to Structural Engineers recommendations:
- Re-point any masonry that is loose, cracked or missing, on all elevations and internally to Barn 1 & Barn 2. The joints to be raked of all loose material and cleared of dust to a depth of 25-50mm, or at least the depth of twice the thickness of the joint.
 - Cut out and replace any spalled, crumbling, loose or cracked stones externally. As an alternative, where the surface has not degenerated too badly, the stone could be cleaned using a proprietary sealer, and any missing stones replaced.
 - Internally wire brush the surface of the stones to remove any loose debris such as lime plaster and make good as above.
 - Existing stone arch over opening in Barn 1 to be re-bedded, using a proprietary 'Special' lintel by Colvic or similar to provide additional support.
 - Any openings to be re-used to have their existing timber lintels removed, and replaced using precast concrete lintels or similar to provide support.
 - The intention is to retain as much of the timber roof structure as possible initially, a timber report will be commissioned to determine to what extent the timbers require treatment, and whether any require replacement. Any replacement beams to be reclaimed timber to match the originals as closely as possible. The timber rafters sitting on top of the main roof beams are to be renewed and packed off the main roof beams to provide a level plane along which to secure the stiles. Insulation to be introduced between, and below the rafters will help conceal any packing required between the uneven main roof beams and the level rafters.
 - The timber rafters sitting on top of the main roof beams are to be renewed and packed off the main roof beams to provide a level plane along which to secure the stiles. Insulation to be introduced between, and below the rafters will help conceal any packing required between the uneven main roof beams and the level rafters.
 - Similarly within Barn 2, the timber report will list the condition of the existing purlins and ridge beam, and these will be retained if possible.
 - Regarding the existing timber post in Barn 1 which is currently out of plumb, this may need to be straightened. However, this will be confirmed following full structural calculations taking into account the new internal walls, and where additional roof support may be provided.
 - The existing timber mezzanine floors were originally intended for loft storage, and are not suitable for habitable use. These are to be removed, and any new first floor construction be fully supported on new internal walls.
 - Prior to any new works commencing, trial holes are to be dug to determine the depth of the existing foundation and the type of soil. The Structural Engineer is to assess the suitability of the foundations for any additional loads. It is likely that the walls will require under-pinning.
 - Where trees have self seeded adjacent to the stone walls, all roots and sub-stems should be removed, and advice sought from the Structural Engineer.
 - The East gable of Barn 2 is to be re-built and tied into the south elevation. The other corners of this structure to be mechanically fixed together using a helix or similar system.
 - Any new or altered structure that is part of the barn conversion is to be constructed in accordance with current building regulations.

C	Roof lights added	May-2019	HF
B	Window mod.	Apr-2019	HF
A	Minor mods.	Dec-2018	GW
rev	description	date	by

Project			
POT GREEN, RAMSBOTTOM			
Drawing Title			
PROPOSED BARN & PIGGERY (BARN 2)			
Date	Scale	Drawn by	Checked by
OCT 2018	1:50	HWF	-
Job No.	Drp. No.	Size	Revision
CFS18-122	002	A1	C

CFA
Structures

Consulting Structural Engineers

Lower Spout House Barn
Whitney Lane
Chorley,
Lancashire.
PR7 6QT
Tel: 01257 234618
E-Mail: engineers@cfastructures.co.uk

Ward: North Manor

Item 02

Applicant: Mrs Shelly Walsh

Location: Barns 1 & 2, (adjacent to 1 Summerseat Lane), 27 Pot Green, Ramsbottom, Bury, BL0 9RG

Proposal: Listed building consent for change of use of existing barns to yoga and leisure use including glass link between the barns for domestic use

Application Ref: 63039/Listed Building Consent **Target Date:** 04/09/2018

Recommendation: Approve with Conditions

Description

The site is located within the Pot Green Conservation Area and consists of a dwelling house (No. 27 Pot Green), a detached garage, a piggery building and a barn, which is attached to No. 1 Summerseat Lane, that is in a separate ownership. All the buildings are constructed from stone and slate. As No. 1 Summerseat Lane is a Grade II listed building, the attached barn, which is the subject of this application is also listed.

The site is surrounded by residential dwellings to the east, south and west and residential dwellings to the north beyond Holcombe Brook.

The proposed development involves the conversion of the existing barn and piggery to a building used for yoga and leisure for domestic purposes. A glazed link would connect the two buildings. All existing openings would be retained and there would be one new opening in the barn and rooflights would be installed. The rear elevation of the piggery building would be rebuilt where it has bowed. Internally, one cattle stall would be removed and a second cattle stall would be retained.

The proposed building would be used as ancillary living accommodation and would not be used as a business. Access to the site would be via the existing accesses from Pot Green and Summerseat Lane.

Relevant Planning History

54366 - Two storey garage with first floor for use as home office (resubmission) at 27 pot Green, Bury. Approved with conditions - 12 October 2011.

54367 - Listed Building Consent: Conversion of barn (Building A) and outbuilding (Building B) to one dwelling with link in between; Construction of new dwelling (Building D) with alterations to existing garage (Building C) to add first floor for use as home office; New two storey garage to no. 27 Pot Green (resubmission) at 27 Pot Green, Bury. Withdrawn - 20 October 2011.

Application was withdrawn as required an updated bat survey.

54368 - Conversion of barn (Building A) and outbuilding (Building B) to one dwelling with link in between; Construction of new dwelling (Building D) with alterations to existing garage (Building C) to add first floor for use as home office (resubmission) at 27 Pot Green, Bury. Withdrawn - 20 October 2011.

Application was withdrawn as required an updated bat survey

54574 - Erection of 1 no. dwelling at 27 Pot Green. Approved with conditions - 25 January 2012.

56678 - Single storey extension at side/rear; Single storey extension at rear; Bay window at side; Dormer at rear at 27 Pot Green, Bury. Approved with conditions - 12 November 2013.

57146 - Single storey extension at side/rear; Single storey extension at rear; Bay window at side; Dormer at rear (resubmission of 56678) with new bay window at 27 Pot Green, Bury. Approved with conditions - 10 March 2014.

63038 - Change of use of existing barns to yoga and leisure use including glass link between the barns for domestic use at Barns (1 & 2) (adjacent to 1 Summerseat Lane, 27 Pot Green, Ramsbottom. Received - 10 July 2018.

Publicity

The neighbouring properties (15) were notified by means of a letter on 18 July 2018 and a press notice was published in the Bury Times on 26 July 2018. Site notices were posted on 10 August 2018.

1 letter of support has been received from the occupiers of 1 Summerseat Lane, which has raised the following issues:

- The property in question is in a poor state of repair and badly needs to be restored.
- It is an eyesore and attracts passers by, who discard their rubbish over the boundary.
- The application can only enhance the surrounding buildings that have recently been restored and help to preserve this conservation area.

3 letters have been received from the occupiers of 62, 77 Summerseat Lane and 7 Pot Green, which have raised the following issues:

- Although the re-submitted application asserts that the yoga and leisure facility is 'for domestic use', we are told that it will still involve additional visitors using the premises, thereby generating further traffic, parking and access issues at this narrow top end of Summerseat Lane (the main entry point to the property). There is already a problem with overflow parking from Pot Green and commercial deliveries into that vicinity.
- Once established, we are concerned that there is little to prevent the project evolving either overtly or otherwise into a commercial venture (as already exists to some degree in the main building). If done correctly, this would require further planning permission, but once up-and-running, it's likely to weaken the case against, thus compounding the problems referred to above.
- I was previously unaware that the buildings were listed. In light of this, I feel even more strongly that the proposed development, with additional clients and visitors would be most unsuitable for this location.
- I have not seen bats around the property for some time now, which is unusual.
- Concerned about an increase of vehicles using Pot Green where parking is at a premium.
- I would be concerned if this was to become a commercial enterprise resulting in use all day and into the evenings. This would lead to increased noise and traffic.
- I agree that the upgrading of the derelict buildings, if done correctly, could be a benefit to the area.

The neighbouring properties were notified of revised plans on 7 May 2019.

If any further comments are received, these will be reported in the Supplementary Report.

Statutory/Non-Statutory Consultations

Conservation Officer - No objections.

Listed buildings - National Amenity Societies - No response.

Pre-start Conditions -

Unitary Development Plan and Policies

EN1/1 Visual Amenity

EN1/2	Townscape and Built Design
EN2/1	Character of Conservation Areas
EN2/2	Conservation Area Control
EN2/3	Listed Buildings
NPPF	National Planning Policy Framework

Issues and Analysis

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning considerations. The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP Policy will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

Design, layout and impact upon heritage - The NPPF sets out the Government's planning policies and one of the core planning principles states that planning should 'conserve heritage assets in a manner appropriate to their significance, so that they can be enjoyed for their contribution to the quality of life of this and future generations.'

Paragraph 192 of the NPPF states that when determining applications, local planning authorities should take account of;

- the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation.
- the positive contribution that conservation of heritage assets can make to sustainable communities including their economic vitality; and
- the desirability of new development making a positive contribution to local character and distinctiveness.

Paragraph 193 states that when considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation and the more important the asset, the greater the weight should be. This is irrespective of whether any potential harm amounts to substantial harm, total loss or less than substantial harm to its significance.

Paragraph 196 states that where a development proposal will lead to less than substantial harm to the significance of a heritage asset, this harm should be weighed against the public benefits of the proposal including, where appropriate, securing its optimum viable use.

In order to assess whether the proposed development would make a positive contribution to the character of the conservation area and the listed building, the character of the building and the conservation area must be determined.

The building is a grade II listed building, which is attached to 1 Summerseat Lane. The applicant has submitted a heritage statement, which assesses the significance of the building and the impact of the proposed development.

EXTERNAL CHANGES - There are existing openings within the barn, which are blocked up and these would be opened up using timber windows and doors. All of the existing openings in the barn would be retained and lime pointing would be used on the external elevations, where required. Conservation rooflights would be inserted and a new opening on the northern elevation would be created, which would have a vertical emphasis. The proposed openings would have some impact upon the building, the proposed openings would provide natural light and would ensure that the building is retained in a usable condition.

A timber glazed flat roof structure would connect the barn and the piggery building. The proposed structure would be lightweight in appearance and would represent a clear modern

addition to the building and would ensure both buildings would be brought into use. Overall, the proposed works would represent an improvement to the current condition of the barn building.

On the piggery building, partial rebuilding is required on the corner to the rear elevation where the building has distorted. The reinstatement of this section of stonework would ensure that the building is fit for future use. The stone flag roof would be retained and the existing stone setts would be retained and reused in the curtilage of the buildings. The proposed works to the piggery building and the setts in the curtilage of the site and the steel posts attached to the external elevations of the piggery and barn building would be removed, which would represent an improvement to the condition and appearance of the building.

INTERNAL CHANGES - All of the internal roof timbers would be retained in the barn building. There are currently two animal stalls within the barn and one would be retained and one would be removed. Whilst this would represent slight harm to the building, a photographic record would be made. Re-roofing works would take place and insulation would be provided. All of the timber trusses and purlins in the barn would remain exposed and this is welcomed. The stone flag floor in the barn would be lifted to provide a concrete base and insulation and would be re-laid in the same pattern. Overall, the proposed changes would be an improvement to the condition of the barn building.

The floor in the piggery is concrete and this would be replaced by a new concrete base. As the existing floor is not original, the proposed works would maintain the appearance of the piggery building.

Therefore, the proposed development would preserve and enhance the character of the Grade II listed building and the conservation area and would be in accordance with Policies EN2/1, EN2/2, EN2/3 and EN1/2 of the Bury Unitary Development Plan and the NPPF.

Response to objectors

- The issues relating to the design and heritage aspects have been addressed in the report above and the planning aspects within 63038..
- The remaining issues raised are pertinent to the planning application and are not relevant to the listed building consent application.

Statement in accordance with Article 35(2) Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2015

The Local Planning Authority worked positively and proactively with the applicant to identify various solutions during the application process to ensure that the proposal comprised sustainable development and would improve the economic, social and environmental conditions of the area and would accord with the development plan. These were incorporated into the scheme and/or have been secured by planning condition. The Local Planning Authority has therefore implemented the requirement in Paragraph 38 of the National Planning Policy Framework.

Recommendation: Approve with Conditions

Conditions/ Reasons

1. The development must be begun not later than the expiration of three years beginning with the date of this permission.
Reason - Required to be imposed pursuant to Section 18 of the Planning (Listed Buildings and Conservation Areas) Act 1990.
2. This decision relates to drawings numbered CFS18-001 001, CFS18-122 002C, CFS18-122 003, Heritage Statement and the development shall not be carried out

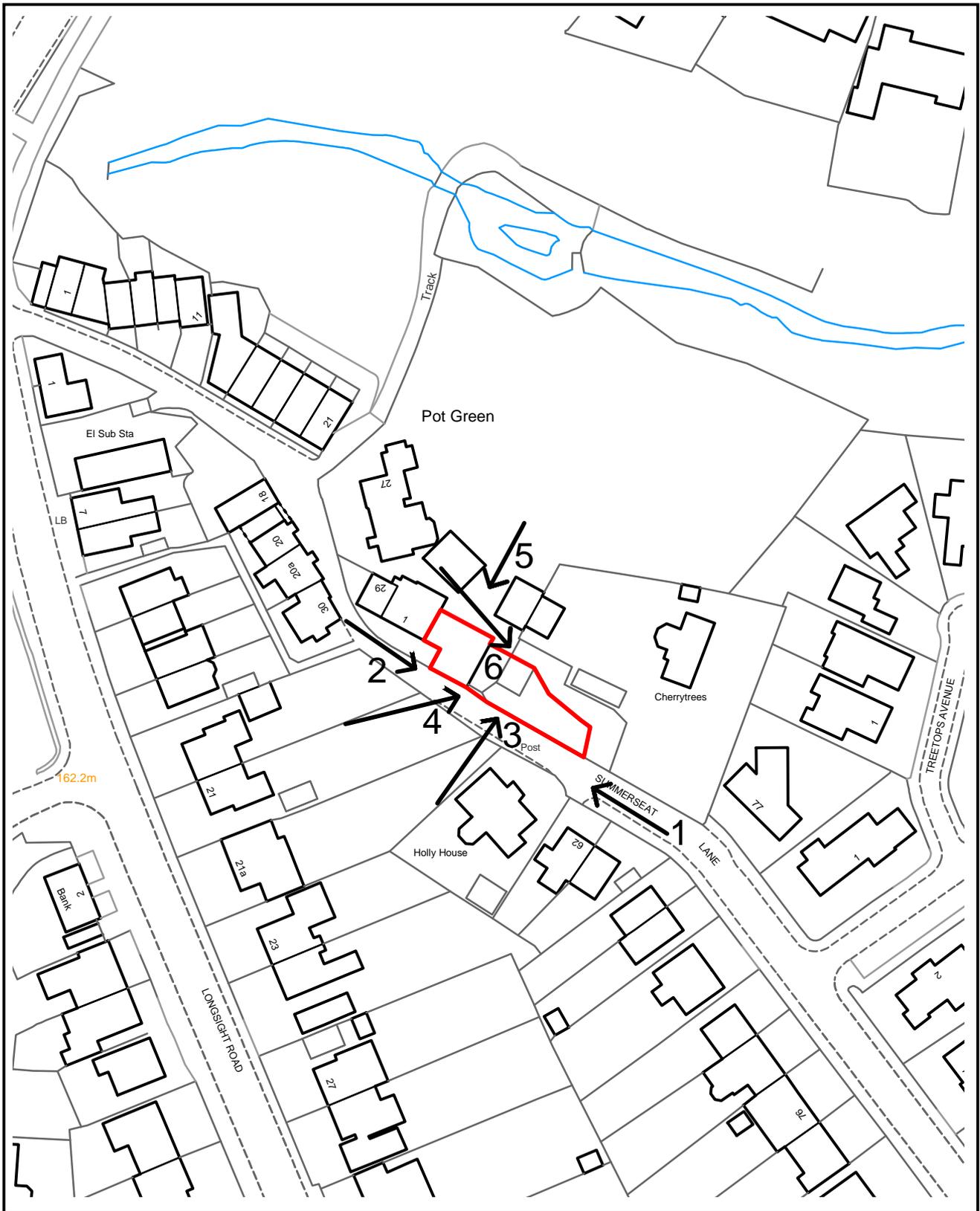
except in accordance with the drawings hereby approved.

Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.

3. A sample panel of stonework and mortar, demonstrating the colour, texture, face bond and pointing, not less than 1 sq.m in size, shall be erected on site for inspection, and approval in writing, by the Local Planning Authority prior to the commencement of the development. Samples of the roofing materials shall also be made available for inspection on site. Thereafter the development shall be constructed in the approved materials and manner of construction.
Reason. In the interests of visual amenity and to ensure a satisfactory development pursuant to Policy EN1/2 - Townscape and Built Design and Policy EN2/3 - Listed Buildings of the Bury Unitary Development Plan
4. The animal stalls shall not be removed from the building unless or until a photographic record of the animal stall has been submitted to and approved in writing by the Local Planning Authority. One animal stall shall be reinstated into the building before it is first brought into use.
Reason. To allow for the proper recording of an item of historical importance before its disturbance by the works pursuant to Policy EN2/3 - Listed Buildings of the Bury Unitary Development Plan.
5. The re-pointing shall be carried out in an appropriate lime mortar mix and without colour additives. Pointing shall be kept to the minimum which is structurally necessary, with care taken to finish the joints to match the original work and with the joints finished flushed, neatly and cleanly and the mortar brushed slightly back from the face of the stone (or brickwork).
Reason. In order to preserve the special architectural or historic interest of the building pursuant to Policy EN2/3 - Listed Buildings of the Bury Unitary Development Plan.
6. No works to the roof shall commence unless or until details of the conservation style rooflights have been submitted to and approved in writing by the Local Planning Authority. Only the approved details shall be implemented as part of the development hereby approved.
Reason. In order to preserve the special architectural or historic interest of the building pursuant to Policy EN2/3 - Listed Buildings of the Bury Unitary Development Plan.
7. All new fenestration shall be set behind a reveal of 75 mm.
Reason: To ensure that the development has regard to the general character and appearance of the immediate locality of the site pursuant to Policy EN2/3 - Listed Buildings of the Bury Unitary Development Plan.

For further information on the application please contact **Helen Longworth** on **0161 253 5322**

Viewpoints



PLANNING APPLICATION LOCATION PLAN

APP. NO 63039

**ADDRESS: Barns 1 & 2, 27 Pot Green
Ramsbottom**

Planning, Environmental and Regulatory Services

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63039

Photo 1



Photo 2



63039

Photo 3



Photo 4



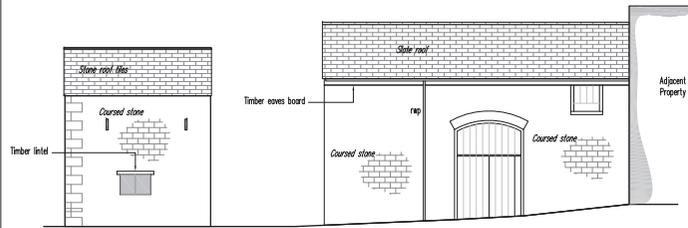
63039

Photo 5

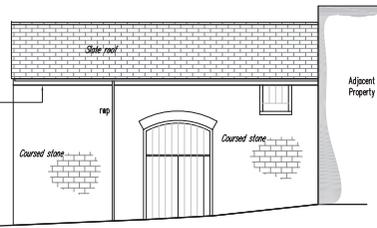


Photo 6

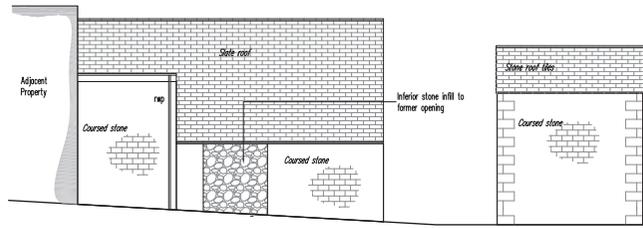




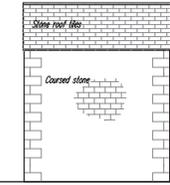
Existing North Elevation – BARN 2



Existing North Elevation – BARN 1

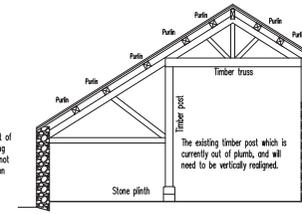


Existing South Elevation – BARN 1

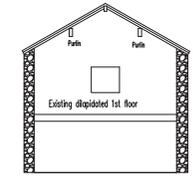


Existing South Elevation – BARN 2

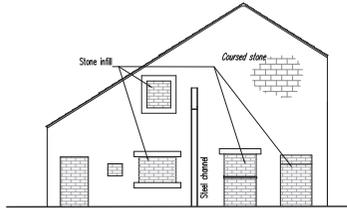
Corner stones are out of the Allow for rebuilding this corner only and not tied into east elevation



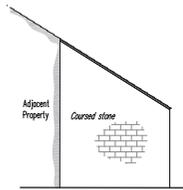
Existing Section 1 – 1



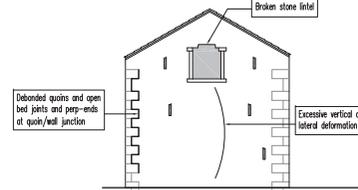
Existing Section 2 – 2



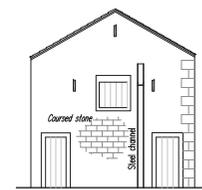
Existing East Elevation – BARN 1



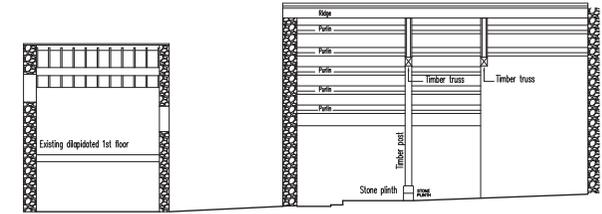
Existing West Elevation – BARN 1



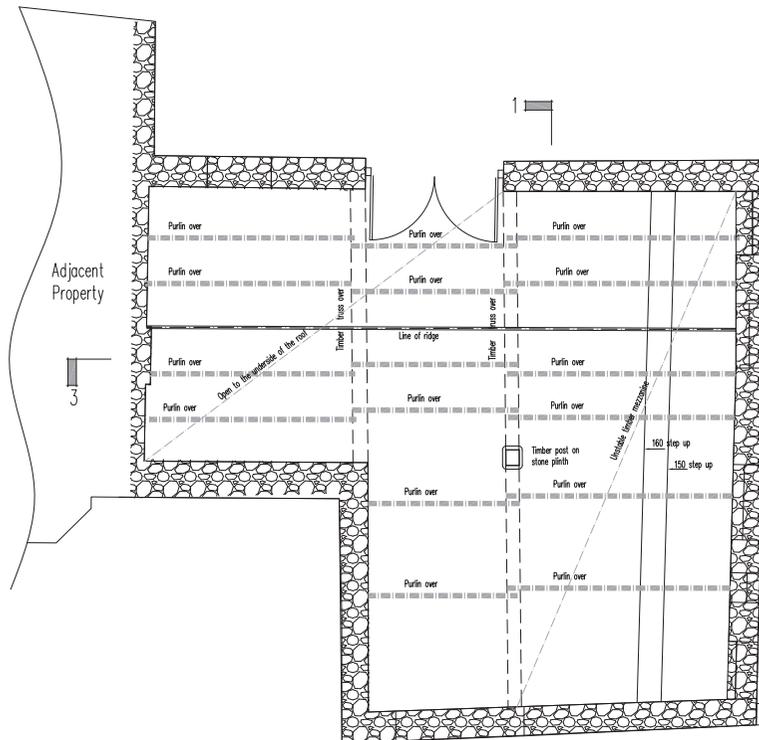
Existing East Elevation – BARN 2



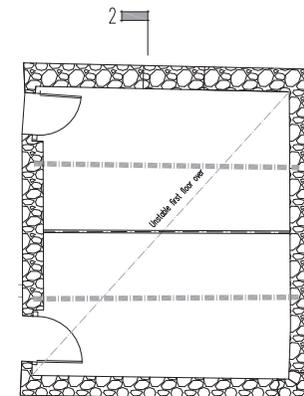
Existing West Elevation – BARN 2



Existing Section 3 – 3



Existing Ground Floor Layout (1:50)
(Indicating Structure Over)

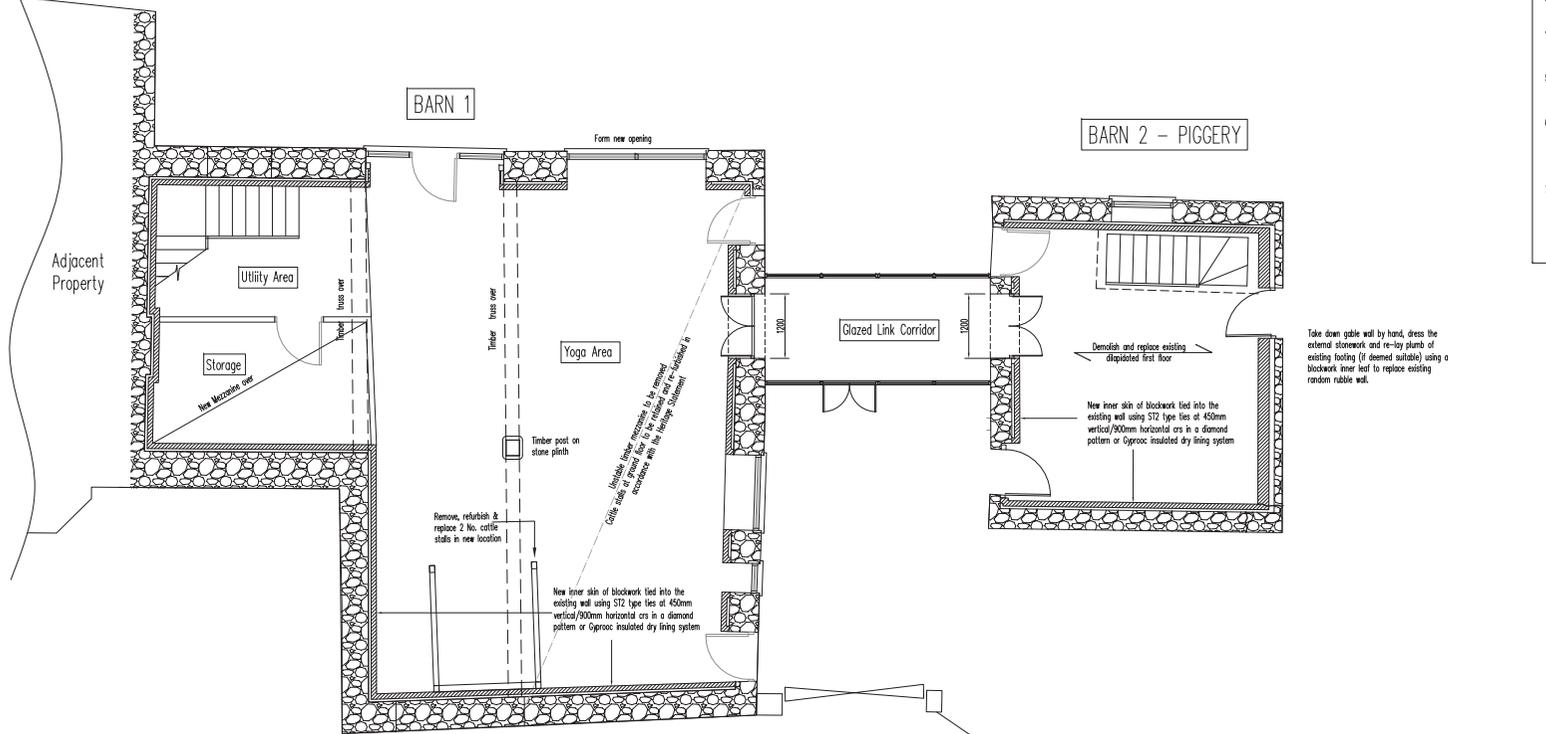
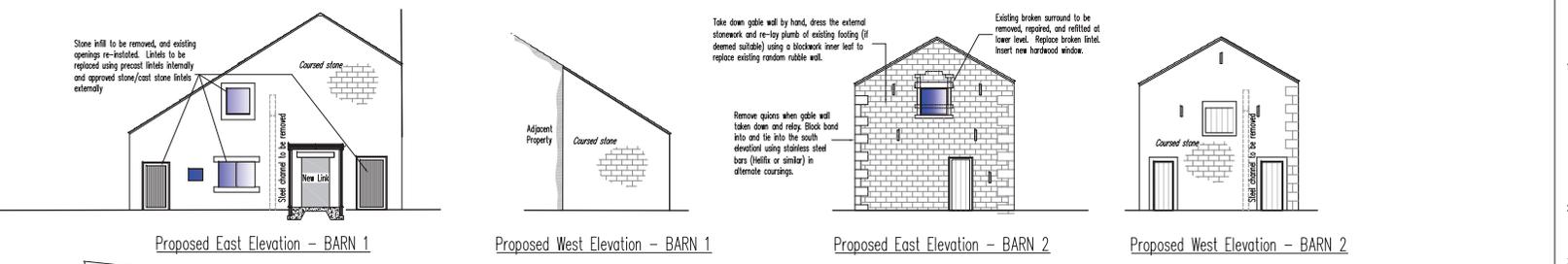
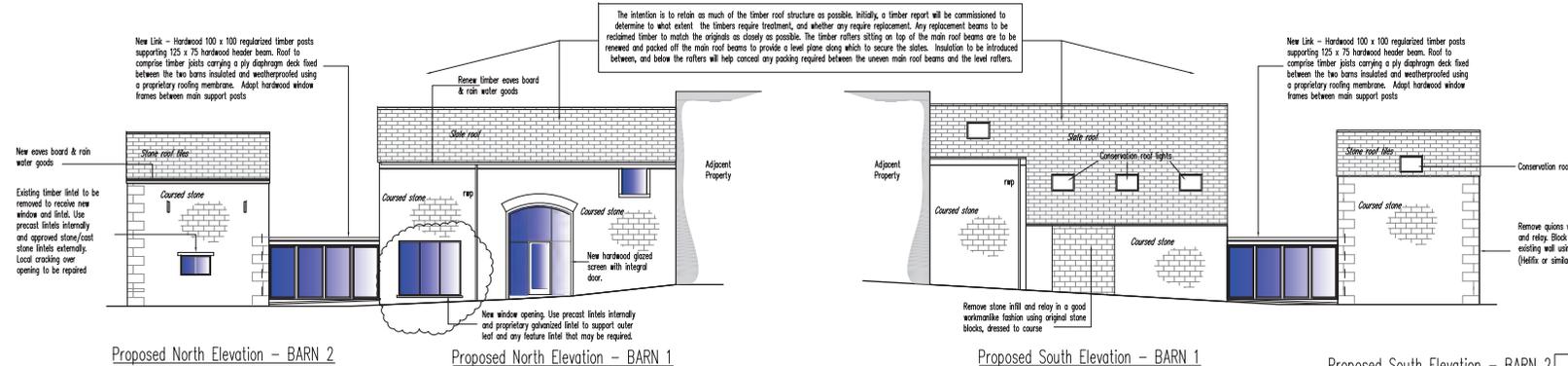


Deformation of the gable is on the limit of what is necessary to ensure long term stability

Cracking and movement of quoins

C			
B			
A			
rev	description	date	by
Project POT GREEN, RAMSBOTTOM			
Drawing Title EXISTING BARN & PIGGERY (BARN 2)			
Date	Scale	Drawn by	Checked by
OCT 2018	1:50	HWF	-
Job No.	Drng. No.	Size	Revision
CFS18-001	001	A1	-

CFA Structures
Consulting Structural Engineers
Lower Spout House Barn
Whitney Lane
Chorley,
Lancashire.
PR7 6QJ
Tel: 01257 234618
E-Mail: engineers@cfastructures.co.uk



Proposed Ground Floor Layout (1:50)
(Indicating Structure Over)

- ### WORKS TO EXISTING BARN
- Refer also to Structural Engineers recommendations:
- Re-point any masonry that is loose, cracked or missing, on all elevations and internally to Barn 1 & Barn 2. The joints to be raked of all loose material and cleared of dust to a depth of 25-50mm, or at least the depth of twice the thickness of the joint.
 - Cut out and replace any spalled, crumbling, loose or cracked stones externally. As an alternative, where the surface has not degenerated too badly, the stone could be cleaned using a proprietary sealer, and any missing stones replaced.
 - Internally wire brush the surface of the stones to remove any loose debris such as lime plaster and make good as above.
 - Existing stone arch over opening in Barn 1 to be re-bedded, using a proprietary 'Special' lintel by Colvic or similar to provide additional support.
 - Any openings to be re-used to have their existing timber lintels removed, and replaced using precast concrete lintels or similar to provide support.
 - The intention is to retain as much of the timber roof structure as possible initially, a timber report will be commissioned to determine to what extent the timbers require treatment, and whether any require replacement. Any replacement beams to be reclaimed timber to match the originals as closely as possible. The timber rafters sitting on top of the main roof beams are to be renewed and packed off the main roof beams to provide a level plane along which to secure the slates. Insulation to be introduced between, and below the rafters will help conceal any packing required between the uneven main roof beams and the level rafters.
 - The timber rafters sitting on top of the main roof beams are to be renewed and packed off the main roof beams to provide a level plane along which to secure the slates. Insulation to be introduced between, and below the rafters will help conceal any packing required between the uneven main roof beams and the level rafters.
 - Similarly within Barn 2, the timber report will list the condition of the existing purlins and ridge beam, and these will be retained if possible.
 - Regarding the existing timber post in Barn 1 which is currently out of plumb, this may need to be straightened. However, this will be confirmed following full structural calculations taking into account the new internal walls, and where additional roof support may be provided.
 - The existing timber mezzanine floors were originally intended for loft storage, and are not suitable for habitable use. These are to be removed, and any new first floor construction be fully supported on new internal walls.
 - Prior to any new works commencing, trial holes are to be dug to determine the depth of the existing foundation and the type of soil. The Structural Engineer is to assess the suitability of the foundations for any additional loads. It is likely that the walls will require under-pinning.
 - Where trees have self seeded adjacent to the stone walls, all roots and sub-roots should be removed, and advice sought from the Structural Engineer.
 - The East gable of Barn 2 is to be re-built and tied into the south elevation. The other corners of this structure to be mechanically fixed together using a Heflix or similar system.
 - Any new or altered structure that is part of the barn conversion is to be constructed in accordance with current building regulations.

C	Roof lights added	May-2019	HF
B	Window mod.	Apr-2019	HF
A	Minor mods.	Dec-2018	GW
rev	description	date	by
Project			
POT GREEN, RAMSBOTTOM			
Drawing Title			
PROPOSED BARN & PIGGERY (BARN 2)			
Date	Scale	Drawn by	Checked by
OCT 2018	1:50	HWF	-
Job No.	Drp. No.	Size	Revision
CFS18-122	002	A1	C

CFA Structures
Consulting Structural Engineers
Lower Spout House Barn
Whitney Lane
Chorley,
Lancashire.
PR7 6QT
Tel: 01257 234618
E-Mail: engineers@cfastructures.co.uk

Ward: Ramsbottom and Tottington -
Ramsbottom

Item 03

Applicant: Eccleston Homes Ltd, Richard Langley Atherton & Janet Elizabeth Atherton

Location: Land to the west of Manchester Road, Ramsbottom, Bury, BL0 0BZ

Proposal: Reserved matters application relating to outline planning application - 60370 for the erection of 35 no. dwellings with approval sought for the remaining matters

Application Ref: 63617/Reserved matters

Target Date: 18/04/2019

Recommendation: Minded to Approve

Description

The site is 2.5 hectares in size and is located between Peel Brow and Bury New Road. The site consists of rough grassland and is allocated as Other Protected Open Land (OPOL) in the Unitary Development Plan (UDP). There are no buildings on site, but there is a Public Right of Way, which passes along Old Engine Lane and connects Bury New Road to Manchester Road. The land slopes away from east to west and Manchester Road is some 2.5 metres above the site.

There are two residential properties to the east, which front onto Manchester Road with Fletcher Bank Quarry beyond. There are residential properties to the south and the M66 motorway to the west, which is at a much lower level than the site.

Outline planning consent was granted in November 2016 for residential development (up to 50 dwellings) and included the means of access to the site, which was to be taken from Bury New Road.

The applicant seeks reserved matters consent for the erection of 35 dwellings. The principle of the development was established with the grant of outline consent in November 2016. As such, the only matters to be assessed as part of this application are the layout, scale, appearance and landscaping of the proposed development.

The proposed dwellings would be a mix of detached and terraced dwellings and would be constructed from brick with a concrete tile roof.

The proposed development would be accessed from Bury New Road via the existing access. An area of public open space would be provided along the western boundary of the site.

Relevant Planning History

25253 - Outline - Residential development at land on Bury New Road, Ramsbottom.
Refused - 8 August 1991.

27581 - Outline - Residential development on land to the north of Bury New Road and to the west of Manchester Road, Ramsbottom. Refused - 2 June 1994.

This application was refused as it would lead to an unacceptable loss of a Site of Biological Interest (SBI) and would lead to the loss of open land which is unallocated for development, contrary to the UDP.

60370 - Outline - residential development including means of access only at land to west of Manchester Road, Ramsbottom. Approved with conditions - 23 November 2016.

02018/E - Erection of 36 no. houses and associated engineering works at land to west of Manchester Road, Ramsbottom. Enquiry completed - 23 August 2017.

Adjacent site

46193 - Erection of detached dwelling on land adjacent to 77 Bury New Road, Ramsbottom. Refused - 5 June 2006. Appeal dismissed - 28 March 2007.

This application was refused for a number of reasons including housing oversupply, lack of information in relation to levels, design, impact upon residential amenity, lack of turning facilities, loss of parking and overdevelopment of the site.

Publicity

The neighbouring properties (450) were notified by means of a letter on 18 January 2019 and a press notice was published in the Bury Times on 24 January 2019. Site notices were posted on 23 January 2019.

2 letters of support have been received from the occupiers of Plunge Farm and 5 Linden Avenue, which have raised the following issues;

- Will provide much needed larger family homes which are at a shortage in Ramsbottom.
- The small number of dwellings will have a negligible impact on traffic and the access junction will operate the same, if not better as the existing Maple Grove junction to the south. It will not form a cross roads and has achieved better visibility.
- Our broken housing market needs fixing - Theresa May, leader of the Conservatives in #Rammy and our Prime Minister

16 copies of a standard letter have raised the following issues:

- The application should be a committee decision and should not be delegated to officers.
- The site is an SBI and development of this land is inappropriate and breaches policies in the UDP.
- The access road, visibility splays and footpath are below standards required by the Council and will result in almost 200 additional vehicle movements.
- The proposal will infill between Bury New Road and Peel Brow.
- There are not enough places at schools in the area.
- The flood risk assessment advises that there is a possibility of groundwater flooding and surface water flooding affecting the site. The meadow should be retained to prevent flooding onto the M66 motorway.

Letters have been received from the occupiers of the following properties:

15, 23, 35, 39, 39, 41, 52, 54, 56, 76, 77, 79, 80, 83, 85, 91, 97 Bury New Road, 165, 167, 173, 176, 178, 188, 192 Peel Brow, 22, 26, 32, 38 Manchester Road, 9 Whalley Road, 4 Cheshire Court, 5 Maple Grove, 6, 8 Shipper Bottom Lane, Nuttall Hall Cottages, 1 Peel Court, 2 South Street, 3, 5, 7, 9 Linden Street, 1, 35, 45 Eliza Street, 717 Walmersley Road, 47 Marlborough Close, 140 Bolton Street, 6 Helmsdale Close, 17 Astley Hall Drive, 5 Cross Street, 5 Conway Close, 15 The Spinnings, 9 The Hollow, 183 Rochdale Road, 79 Brecon Drive, 46 Lansdowne Close, 25 Stanford Hall Crescent, 9 Spring Street, 267 Heywood Old Road, 101 Dundee Lane, which have raised the following issues:

- There are 2 developments under construction in Ramsbottom, which will create additional traffic. This development will add to the burden on congested streets.
- Edgars field is a site of biological interest. The development is inappropriate and is protected by law. There are bats on site, which are protected.
- Recent floods closed roads and caused traffic chaos. If this development is allowed to go ahead, residents will need boats.
- The houses that will be built will NOT be affordable housing and will not benefit local young people.
- We have little safe green space nearby for our children to play and it will be a tragedy to lose this little bit of green space.
- Have there been any consideration about access other than the proposed entrance on Bury New Road?
- Access from Manchester Road would ease the road situation
- Local schools and infrastructure are at capacity.

- The housing will change the character of the area and would be infill. It is contrary to the UDP and GMSF.
- The access road and footpath widths are below standard and will not be adopted by the Council.
- Given that Council officers have made errors in their advice to committee over the outline consent, this application should be heard by committee.
- The development will result in over 200 vehicle movements per day
- There is a natural spring passing through the site.
- The two houses in the top corner of the site will be able to see into our property due to the difference in levels. These 2 houses should be rotated.
- Brownfield sites should be developed first for affordable housing.
- Local services are struggling to cope and there's no funding to improve these.
- It is a joke that Councillors are willing to put extra income before the wellbeing of the community.
- The field was severely damaged to remove wildlife value to progress a future planning application. Destruction of wildlife to change the land designation is immoral and granting planning consent to build on a SBI is immoral.
- The flood risk assessment advises that there is a possibility of groundwater flooding and surface water flooding affecting the site. The meadow should be retained to prevent flooding onto the M66 motorway.
- At a public inquiry into a scheme at Fletcher Bank Quarry, the capacity of the nearby signalised junction was discussed and the Inspectors conclusion was that the road was at or over capacity. The Inspector concluded that the increase in traffic was not sufficient as a standalone reason to refuse planning permission, it did weigh against the scheme.
- A refuse vehicle turning left will have to cross the white lines to leave the site.
- The application conflicts with many policies of the UDP.

The neighbouring properties and objectors were notified of revised plans on 11 March 2019.

Letters have been received from the occupiers of 56, 76, 85, 91 Bury New Road, which have raised the following issues:

- I wish to maintain my objection.
- In March 2019, the M66 flooded due to the River Irwell breaking its banks and traffic came to a complete standstill on Manchester Road. More houses will mean more flooding.
- The amount of pot holes will only increase.
- Planning was rejected in 1992 due to the SBI status. The SBI is the whole field, not just part of it.
- The site regained its status as an SBI in September. The Council must base its decision on the current status at the time of the application and not be influenced by the previous designation in 2016.
- The applicants suggestion that this marshland could become a public space, (drained or not, managed or not) capable of supporting the, 'meadow', plant life that has resulted in Edgars field being recognised as an SBI is ridiculous.
- I wish to voice my utter disgust that this application is being considered. Do not ruin Ramsbottom.
- Comments from GM Ecology Unit state that the 'current level of compensation for the loss of grassland as insufficient. The strip of wildflower grassland is too small to be meaningful and is likely to be unsustainable.' As such, there is no evidence of any overriding need for 35 luxury houses.
- There are many alternative sites in the borough.
- All other amendments are totally irrelevant as the Council cannot grant consent on this site without placing itself in breach of national and local planning

The objectors and supporters have been notified of the Planning Control Committee meeting.

Statutory/Non-Statutory Consultations

Traffic Section - Missing info from condition requiring details for RM application.

Drainage Section - No response.

Environmental Health Contaminated Land - No objections, subject to the inclusion of conditions relating to contaminated land and radon gas.

Environmental Health - Air Quality - No objections, subject to the inclusion of a condition relating to a scheme for electric vehicle charging points.

Environmental Health Pollution Control - No comments.

Public Rights of Way Officer - No objections, subject to the maintenance of the Public Right of Way through the site.

Waste Management - No response.

Highways England - No objections.

GM Ecology Unit - No objections, subject to the inclusion of a condition relating to the landscaping/area of species rich grassland.

The Coal Authority - No objections, subject to the inclusion of an informative relating to coal mining.

United Utilities - No objections, subject to the inclusion of a condition relating to the drainage.

Designforsecurity - No response.

Environment Agency - No response.

Pre-start Conditions - Will be reported in the Supplementary Report.

Unitary Development Plan and Policies

OL2/1	Development on Other Protected Open Land
H1/2	Further Housing Development
H2/1	The Form of New Residential Development
H2/2	The Layout of New Residential Development
H4/1	Affordable Housing
EN1/1	Visual Amenity
EN1/2	Townscape and Built Design
EN1/3	Landscaping Provision
EN1/5	Crime Prevention
EN1/7	Throughroutes and Gateways
EN2/1	Character of Conservation Areas
EN2/2	Conservation Area Control
EN5/1	New Development and Flood Risk
EN6	Conservation of the Natural Environment
EN6/4	Wildlife Links and Corridors
EN7	Pollution Control
EN7/1	Atmospheric Pollution
EN7/2	Noise Pollution
EN7/4	Groundwater Protection
EN7/5	Waste Water Management
EN8	Woodland and Trees
EN8/2	Woodland and Tree Planting
EN9/1	Special Landscape Areas
OL2/1	Development on Other Protected Open Land
OL4/3	Development Impact on Farming Areas
RT2/2	Recreation Provision in New Housing Development
RT3/4	Recreational Routes
HT2/4	Car Parking and New Development
HT2/5	Public Car Parks
HT6/1	Pedestrian and Cyclist Movement
HT6/2	Pedestrian/Vehicular Conflict
RT2/2	Recreation Provision in New Housing Development
SPD1	Open Space, Sport and Recreation Provision
SPD2	DC Policy Guidance Note 2: Wildlife Links & Corridors

SPD3	DC Policy Guidance Note 3: Planning Out Crime
SPD5	DC Policy Guidance Note 5: Affordable Housing
SPD6	Supplementary Planning Document 6: Alterations & Extensions
SPD11	Parking Standards in Bury
NPPF	National Planning Policy Framework

Issues and Analysis

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning considerations. The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP Policy will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

Principle - The principle of the development in relation to other protected open land and residential development was established with the grant of outline planning consent in November 2016. The outline consent is still valid and requires the reserved matters to be considered in relation to the layout, scale, appearance and landscaping.

Design and layout - The proposed development would contain a mix of detached, semi-detached and terraced dwellings. The majority of the proposed dwellings would be two storeys in height, except for plots 1 to 12, which would be split level dwellings to take account of the levels which rise towards Manchester Road. The split level dwellings would be three storeys at the front and two storeys at the rear. The proposed development would match the properties to the south in terms of height and scale and the cottages to the east of the site are split level. As such, the proposed development would be appropriate in terms of height and scale.

The proposed development would be constructed from brick with concrete tile roofs, which would be similar in appearance to the existing properties in the locality. The inclusion of headers and cills, canopies and bay windows would add visual interest to the elevations. Therefore, the proposed development would not be unduly prominent in the locality and it would be in accordance with Policies EN1/2, H2/1 and H2/2 of the Bury Unitary Development Plan.

All of the proposed dwellings would have a side or rear garden, which would provide a suitable level of private amenity space. There would be space within the rear or side gardens for bin storage. Close boarded timber fencing would be provided to the rear gardens with hedges marking the boundaries to the front, which would be acceptable.

Therefore, the proposed development would not be a prominent feature and would be in accordance with Policies EN1/2, H2/1 and H2/2 of the Bury Unitary Development Plan.

Impact upon residential amenity - SPD6 provides guidance on aspect standards between residential properties and as such, would be relevant in this case.

The aspect standards states that there should be a minimum of 20 metres between directly facing habitable windows and 13 metres between a habitable room window and a two storey blank wall. If there is an additional storey in height or difference in levels of 2.5 metres, a further 3 metres should be added to the aspect standard.

All of the relationships between the proposed dwellings within the site would comply with the relevant aspect standards in SPD6.

There would be a minimum of 23 metres between the rear elevations of plots 9 to 12 and the existing residential dwellings, which front onto Manchester Road, which would comply with the aspect standards.

There would be 31 metres between the rear elevation of No. 71 Bury New Road and the gable elevation of plot 19. There would be 22 metres and 25 metres between the rear elevations of No. 79 and 81 Bury New Road with the gable of plot 35 and plot 1. All of these distances would be well in excess of the 13 metres required.

Therefore, the proposed development would not have a significantly adverse impact upon the amenity of the neighbouring properties.

Noise - The proposed layout of the site would result in plots 16 - 27 acting as a barrier to provide mitigation from the noise generated by the adjacent motorway. The Pollution Control section has no objections to the proposed development. Therefore, the proposed development would not have a significant adverse impact upon the amenity of the neighbouring properties with regard to noise and would be in accordance with Policy EN7/2 of the Bury Unitary Development Plan.

Ecology - The site was originally designated as a Site of Biological Interest (SBI) as it supported relatively species-rich grassland, but was de-selected as an SBI in 2008 as the quality of the grassland had deteriorated in ecological terms. Over recent years, the grassland has been managed more appropriately and plant diversity is recovering.

The land was surveyed by GM Ecology Unit (GMEU) at the time of the outline application and it was found that the grassland had been managed more appropriately and plant diversity was recovering. This was borne out by the ecological report submitted with the outline application.

GM Ecology Unit was consulted during the outline application stage and had no objections, subject to the inclusion of a condition requiring the creation and management of an area of species-rich grassland as compensation for the loss of habitat across the whole site. As such, outline planning consent was granted for the proposed development.

The survey at the time of the outline application by GMEU formed the basis of the report to the Planning Committee in September 2018, which updated the register of SBIs to include the application site.

However, the designation of the site as an SBI is a constraint to be accommodated as outline planning consent exists. At the time of considering the outline application, GMEU were consulted on the application and as stated above, had no objections to the proposal.

Paragraph 70 (d) of the NPPF is more resilient to current and future pressures.

An SBI is a local designation. Nevertheless it is an intrinsic issue for the site must be balanced in the decision making process. The layout and negotiations have sought to recognise that there is an existing planning permission, and also the site can contribute to other matters of relevance to the area including new housing provision.

Paragraph 175 (a) must apply as the principle of development is extant. The site's value as a **** SBI has re-established to a degree that ecology will play a part in the decision making process and has retained and enhanced an area of 3,000 square metres within the site. The enhancement comprises planting of a grassland species mix, which on balance and consideration of the competing demands and through consultation with GMEU is considered to be acceptable.

The current reserved matters application is seeking to establish the detailed layout, scale and appearance of the proposed development. The proposed site plan and landscaping plan confirm that an area of 3,300 square metres of species rich grassland would be located in one large area between the motorway and plots numbers 16 to 27. GM Ecology Unit have been consulted on the proposals and have no objections, subject to the inclusion of a condition relating to the species mix for the area of species rich grassland.

Therefore, the proposed development would not cause harm to the ecology of the area and would be in accordance with Policies EN6 and EN6/3 of the Bury Unitary Development Plan.

Highways issues - The proposed development would be accessed from the existing access located between Nos 79 and 81 Bury New Road, as required by the outline consent. The internal road layout would be of an acceptable width and would have appropriate levels of visibility. The proposed road layout would be acceptable, but would not meet the specific criteria for adoption by the Highway Authority. As such, the maintenance of the roads would be undertaken by a management company, which is not an unreasonable proposal. Therefore, the proposed development would not be detrimental to highway safety and would be in accordance with Policies H2/1, H2/2 and HT6/2 of the Bury Unitary Development Plan.

Public right of way - There is a public right of way passing through the site and connects Manchester Road to Bury New Road (along Old Engine Lane) to the west of No. 71 Bury New Road. The proposed site plan indicates that the PROW would be maintained along the existing route and would follow the access road through the development and become a gravel path in the area of species rich grassland. The Public Rights of Way Officer has no objections to the proposal. Therefore, the proposed development would be in accordance with Policy RT3/4 of the Bury Unitary Development Plan.

Parking - SPD11 states that the maximum number of parking spaces is 3 spaces per 3 bedroom dwelling and 3 spaces per 4 bedroom dwelling and larger. This equates to 96 spaces.

The proposed development would provide 67 spaces and there would be 22 single garages and 4 double garages provided. Whilst garages are not normally taken into consideration, this would equate to 93 spaces. The site is located within walking distance of Bury New Road, where there are good transport links and walking distance to Ramsbottom town centre. As such, the level of parking provision would be acceptable. Therefore, the proposed development would be in accordance with Policy HT2/4 of the Bury Unitary Development Plan and SPD11.

Planning obligations - The proposed development would provide informal recreation space on site and 9 properties would be affordable. The affordable dwellings would be secured through a Section 106 agreement and represents full policy provision.

The proposed recreation space would be predominantly species rich grassland and would function as informal public open space. The proposed recreation space would assist in improving connectivity with other areas of greenspace and would create an opportunity for sustainable urban drainage systems. This area of open space accommodates existing sewer and water mains and the public right of way would pass through the site. Given the above, it is considered that the provision of on-site recreation space would be acceptable in this instance.

Response to objectors

- The issues relating to the principle of the development, the number of vehicle movements, traffic generation were assessed at the outline stage.
- The issues relating to loss of privacy, ecology and the designation of the SBI have been addressed in the report above.
- 9 affordable houses will be provided on the site and will be secured via a legal agreement.
- An access from Manchester Road is not possible due to the significant difference in levels between Manchester Road and the application site.
- Access roads do not have to meet adoption standards in order to grant planning consent. The internal access roads and footpaths are acceptable, but would not be adopted by the Council. This means that the maintenance of the estate roads would be

undertaken by a management company.

- The ecological issues were fully assessed at the time of the outline application and the officer recommendation to the Planning Control Committee was correct.
- The outline application was accompanied by a ecological report. This report provided evidence that the ecological status of the site was recovering and the outline application was assessed on that basis.
- Issues relating to drainage and flood risk were assessed during the outline application and conditions 11, 12 and 13 deal with these issues on application 60370.
- There is no policy requirement for the developer to provide funding to improve existing services or to provide additional school places.

Statement in accordance with Article 35(2) Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2015

The Local Planning Authority worked positively and proactively with the applicant to identify various solutions during pre-application discussions to ensure that the proposal comprised sustainable development and would improve the economic, social and environmental conditions of the area and would accord with the development plan. These were incorporated into the scheme and/or have been secured by planning condition. The Local Planning Authority has therefore implemented the requirement in Paragraph 38 of the National Planning Policy Framework.

Recommendation: Minded to Approve

Conditions/ Reasons

1. The development must be begun not later than the expiration of two years beginning with the date of this permission.
Reason. Required to be imposed pursuant to Section 51 of the Planning and Compulsory Purchase Act 2004
2. This decision relates to drawings numbered 101, 102 A, 103, HA-P-01, IN-P-01, IN-P-02, PK-P-01, PC-P-01, Pickmere House Type - Sheet 2, TA-P-01, WH2-P-01, WN-P-01, SG-P-01, DG-P-01, ENG-01 D, ENG-09 D, ENG-10 D, 11 A, F02, 001-2, SSS-6771-Land At Ramsbottom Rev A (Sheet 1 of 2), SSS-6771-Land At Ramsbottom Rev A (Sheet 2 of 2), 4151 01 B, SCP/18105/SK01 and the development shall not be carried out except in accordance with the drawings hereby approved.
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.
3. Following the provisions of Condition 4 of permission 60370, where radon gas remediation / protection measures are required, the approved Remediation Strategy must be carried out to the written satisfaction of the Local Planning Authority within approved timescales; and
A Site Verification Report detailing the actions taken and conclusions at each stage of the remediation works, including substantiating evidence, shall be submitted to and approved in writing by the Local Planning Authority prior to the development being brought into use.
Reason. To alleviate any possible risk associated with the production of landfill gas and ground gas in accordance with the recommendations of the Environment Agency and pursuant to Chapter 15 - Conserving and enhancing the natural environment of the National Planning Policy Framework.
4. Notwithstanding the landscaping scheme submitted, details of the species rich grassland seed mix shall be submitted to and approved in writing by the Local Planning Authority prior to the commencement of the development hereby approved. Only the approved details shall be implemented as part of the approved

landscaping scheme.

The approved scheme shall thereafter be implemented not later than 12 months from the date the building(s) is first occupied or within the first available tree planting season; and any trees or shrubs removed, dying or becoming severely damaged or becoming severely diseased within five years of planting shall be replaced by trees or shrubs of a similar size or species to those originally required to be planted.

Reason. To secure the satisfactory development of the site and in the interests of visual amenity pursuant to Policies H2/2 - The Layout of New Residential Development, EN1/2 - Townscape and Built Design and EN8/2 - Woodland and Tree Planting of the Bury Unitary Development Plan and chapter 15 - Conserving and enhancing the natural environment of the NPPF.

5. The car parking indicated on the approved plans shall be surfaced, demarcated and made available for use prior to first occupation of any of the dwellings hereby approved.

Reason. To ensure adequate off street car parking provision in the interests of road safety pursuant to Policy HT2/4 - Car Parking and New Development of the Bury Unitary Development Plan.

6. Details/Samples of the (materials/bricks) to be used in the external elevations, together with details of their manufacturer, type/colour and size, shall be submitted to and approved in writing by the Local Planning Authority before the development is commenced. Only the approved materials/bricks shall be used for the construction of the development.

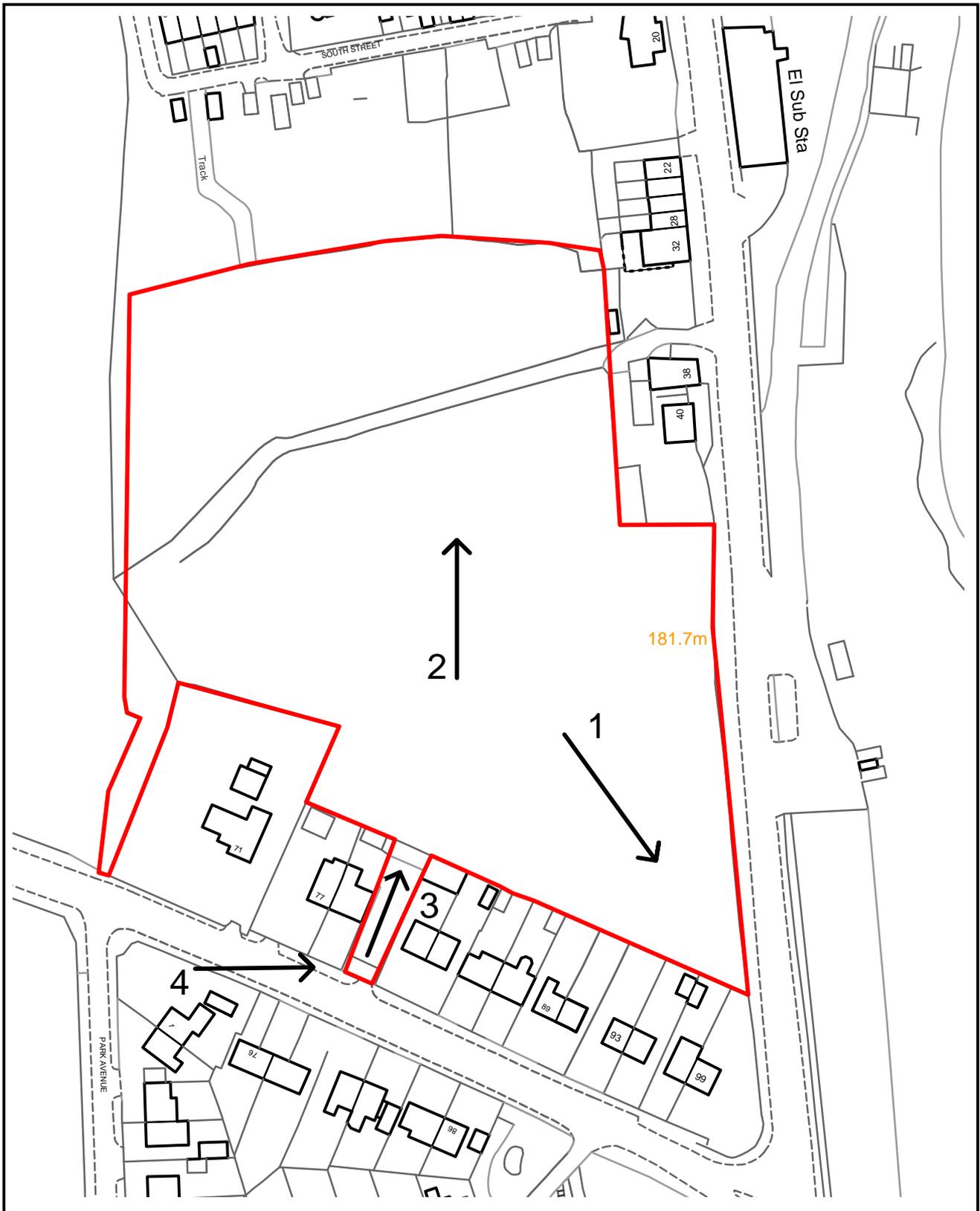
Reason. No material samples have been submitted and are required in the interests of visual amenity and to ensure a satisfactory development pursuant to UDP Policy EN1/1 Visual Amenity.

7. Notwithstanding the terms of the Town and Country Planning (General Permitted Development) (England) Order 2015, as subsequently amended, no development shall be carried out within the terms of Classes A to G of Part 1 of Schedule 2 of the Order, without the submission and approval of a relevant planning application.

Reason. To ensure that future inappropriate alterations or extensions do not occur pursuant to policies of the Unitary Development Plan listed.

For further information on the application please contact **Helen Longworth** on **0161 253 5322**

Viewpoints



PLANNING APPLICATION LOCATION PLAN

APP. NO 63617

ADDRESS: Land to the west of Manchester Road
Ramsbottom

Planning, Environmental and Regulatory Services

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63617

Photo 1



Photo 2



63617

Photo 3



Photo 4





KEY
LANDSCAPING - SOFT LANDSCAPE

- Existing Trees to be Retained
Existing trees and shrub vegetation to be retained and protected in line with BS5831:2012
- Proposed Ornamental Trees
Trees within front gardens to be ornamental species and planted at 14-16cm DBH. Heavy standards to include hawthorn and flowering species for the benefit of wildlife.
- Proposed Native Trees
Trees within the native shrub belt to be planted at 10-12cm Selected Standards to include locally native species for the benefit of wildlife.
- Proposed Native Shrub Hedges
Shrub to be planted in single species groups at 100-120cm DBH edge at 1m center to include locally native species for the benefit of wildlife and habitat creation.
- Proposed Evergreen Hedges
Hedges to be planted at 100-pairs at 3 per lin m in a single species row and will be an evergreen species to provide a physical structure around the plots all year round.
- Proposed Ornamental Planting
Shrub to be planted at 2L pots at 3.65 per sq m within the front gardens to provide seasonal interest and will include flowering species for the benefit of wildlife.
- Proposed Specimen Plants
To provide height and structure within the beds in key areas around the site to be planted at 20L pots as shown.
- Front Gardens
Front gardens to be turfed with a general amenity grass sward.
- Proposed General Amenity Grass
Back gardens to be seeded with a general amenity grass sward.
- Proposed Species Rich Grassland
Species rich sward mix as per Ecologist spec specification

Species Rich Grassland to include the following species in accordance with Ecologist Recommendations to match existing species found on the site.

- Lolium perenne*
- Cynosurus cristatus*
- Ruminantia major*
- Arrhenatherum*
- Vicia sativa*
- Vicia cracca*
- Lolium perenne*
- Vaccinium myrtillus*
- Cirsium nigra*
- Actinoteleium*
- Alchemilla pratensis*
- Lolium perenne*
- Knautia crenata*
- Coronilla majus*

Species seed mix to be prepared by Commercial Seeds to the Ecologist's composition & specification and should be sown at 2g/m² m

LANDSCAPING - HARD LANDSCAPE

- Proposed Gravel path
150mm Gravel path with timber edging to define public right of way

REV B Addition of gravel path to PDS sward as per public right of way officers comments. 05.06.19 AJ

REV A Update to landscape layout notes with Landscape Officers comments 01.05.19 AJ



DEP LANDSCAPE ARCHITECTURE LTD
BLACHPRIARS HOUSE, PARSONAGE
HEATH CHURCH, W3 2JA
T: 0181 2419878
E: info@dep.co.uk
W: www.dep.co.uk

Client
Eccleston Homes

Project
Bury New Road, Ramsbottom

Description
Landscape Plan

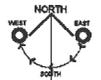
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Drawn
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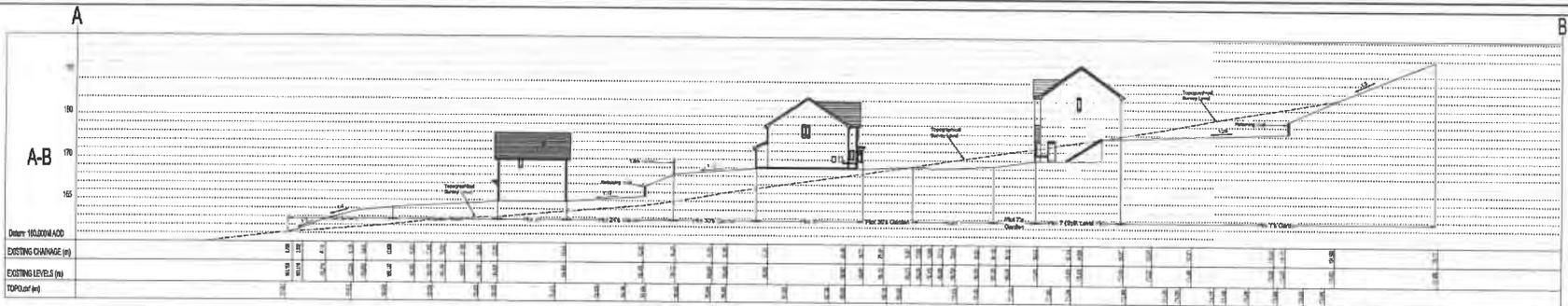
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Issue number
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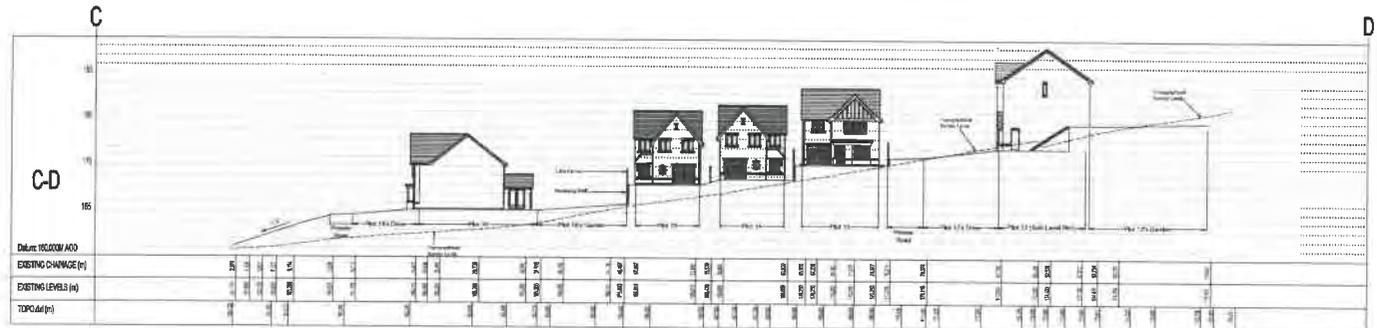
Copyright DEP Landscape Architecture Ltd



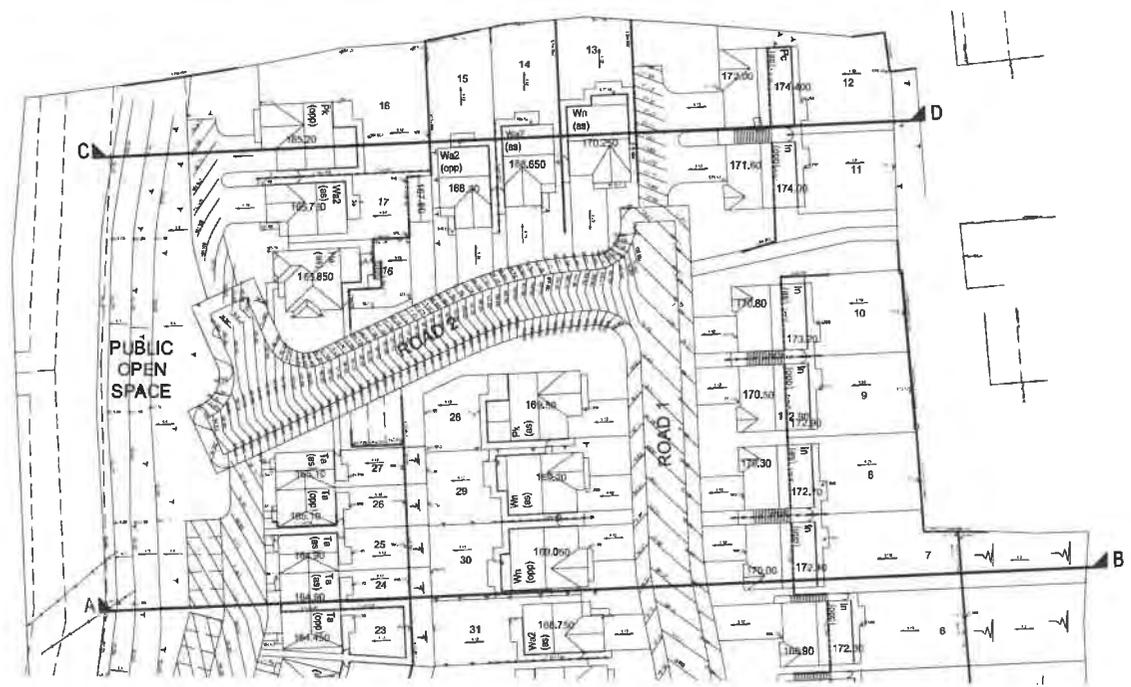
- PLANTING IMPLEMENTATION AND SPECIFICATION NOTES**
1. Plant handling at the nursery, and during transit up to delivery, shall be in accordance with 'Plant Handling', the booklet published by the Committee for Plant Supply and Establishment (CPSE). The contractor shall comply with clauses 3 & 4 of the above booklet (obtained from the Floriculture Trades Association, 19 High Street, Theale, Reading, Berks RG7 5H) which refers to the receipt, unloading and temporary storage of plants.
 2. Plants shall be first class examples of their species or variety, free from all pests and diseases, with good fibrous root systems and materially undamaged (refer to relevant sections of BS3936 Parts 1-4 'Specification of Nursery Stock').
 3. All planting is to be in general compliance with BS4422: 1989 'Code of Practice for general landscape operations'
 4. Tree Planting:
 - i) 14-16cm girth trees to be planted in pits 900 x 900 x 700mm deep (base broken out to facilitate drainage) and past free compost or slow release tree fertilizer incorporated into the back fill.
 - ii) 10-12cm girth trees to be planted in pits 750 x 750 x 550mm deep (base broken out to facilitate drainage) and a past free compost or slow release tree fertilizer incorporated into the back fill.
 - iii) All trees to be staked using 100 dia short stakes and secured to the tree with rubber webbing tie and spacer.
 5. Formal Hedges:
 - i) Trench to be dug min 500mm wide x 400mm deep (base broken out to facilitate drainage) and a past free compost or slow release fertilizer incorporated into the back fill material.
 6. Shrub beds:
 - i) All shrub beds are to have min 450mm depth topsoil and when planted these should be mulched with 50mm depth of medium grade bark mulch.
 7. All amenity grassed areas to have min 150mm depth topsoil and cultivated to a depth of 150mm prior to seeding or laying turf. Areas to be sprayed with a non-residual glyphosate based herbicide.
 8. All front gardens to be laid as turf
 - i) Back gardens to be seeded with an appropriate general amenity grass seed mix.
 9. Species Rich Grassland to be seeded with bespoke grass seed mix as specified by the ecologist see species list opposite for species composition. Create a 150mm seedbed down to 150mm in depth. Carry out two equal sowings at right angles to each other and diagonally to main axis. Broadcast manually or use seed drill, rain level and roll. Ensure good seed to soil contact.
 10. The requirements in the first few years is to control weeds and reduce competition to encourage bio-diversity. This should be achieved by cut the sward to a height of 50mm every 2-3 months or when the sward reaches 150mm during the first full growing season. Final cut should be carried out in September/October. Once done, remove all cut material from site to avoid smothering the sward and to reduce the fertility of the soil.
 11. For future years to help maintain species diversity cut the sward in late autumn, after the last flowering period once the seed heads have formed, reducing the sward to 50-70mm. Allow the sward to settle (for insects and seeds to disperse) before removing the sward off site in a forward tip and appropriate green waste disposal area.
 12. All Trees, Hedges and Shrub beds to be watered in the first year of establishment during periods of drought and the beds to be maintained weed free until established to reduce competition from weed.
 13. The contractor must ascertain NBN4/Herall of the exact location of underground services prior to carrying out any digging on site.



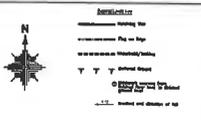
CROSS SECTION A - B
SCALE 1:200



CROSS SECTION C - D
SCALE 1:200



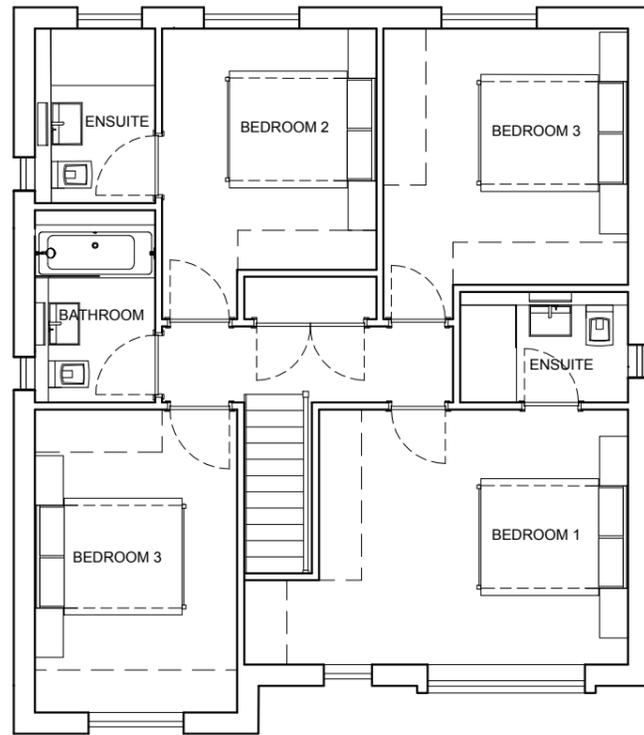
CROSS SECTION PLAN
SCALE 1:250



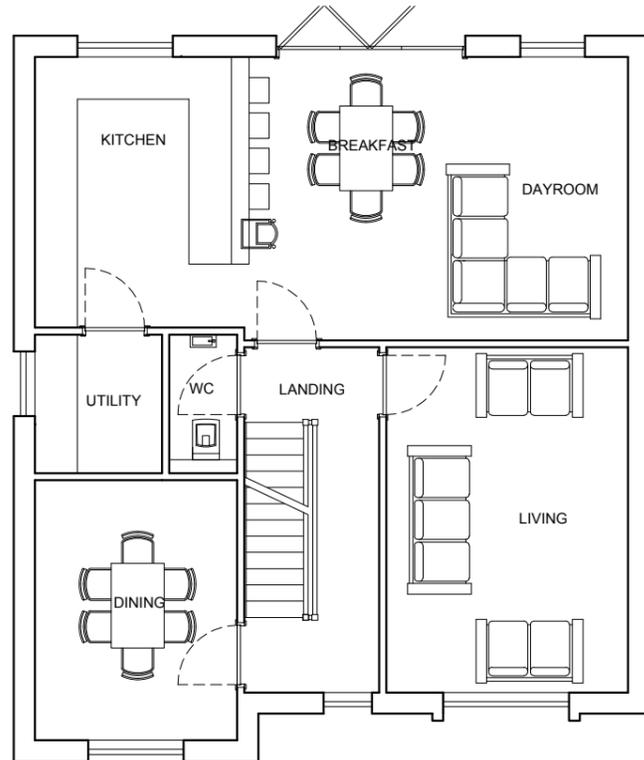
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eccleston
 HOMES
 PROJECT
 BURY NEW ROAD,
 RAMSBOTTOM
 DRAWING TITLE
 EXTERNAL WORKS
 CROSS SECTIONS

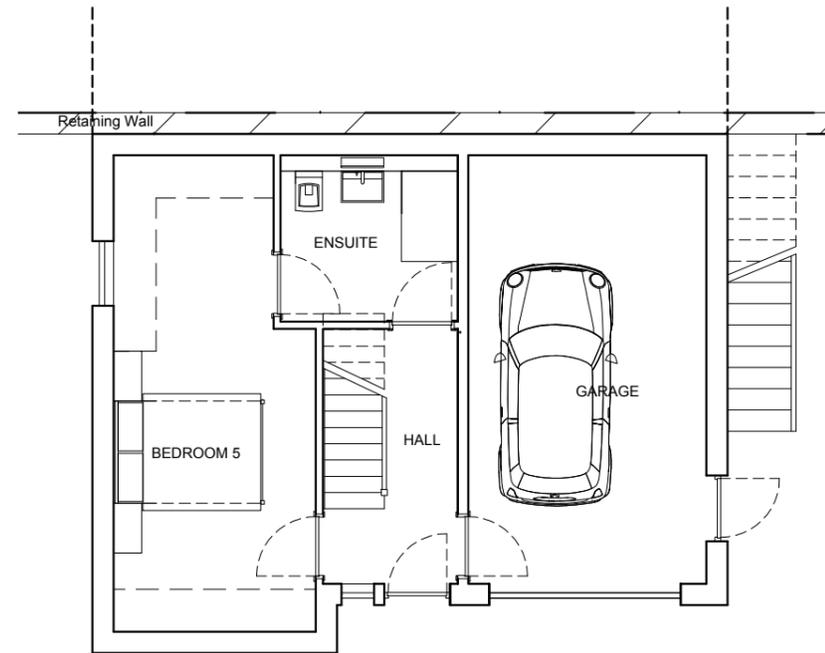
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SECOND FLOOR



FIRST FLOOR



GROUND FLOOR

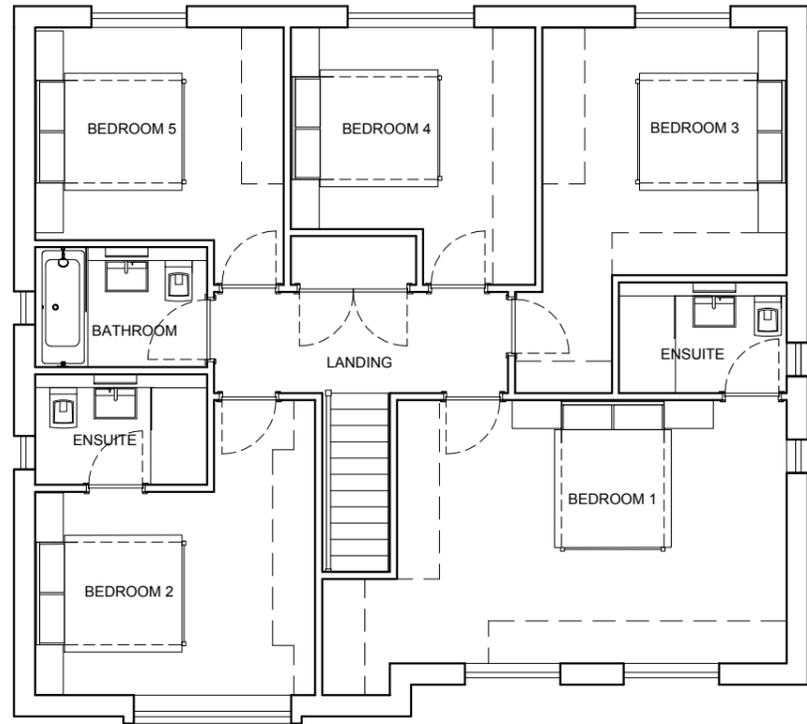
REV.	DESCRIPTION	INT.	DATE



PROJECT
**BURY NEW ROAD,
 RAMSBOTTOM**

DRAWING TITLE
**INGLEWHITE HOUSE TYPE
 PLANNING DRAWING
 SHEET 2**

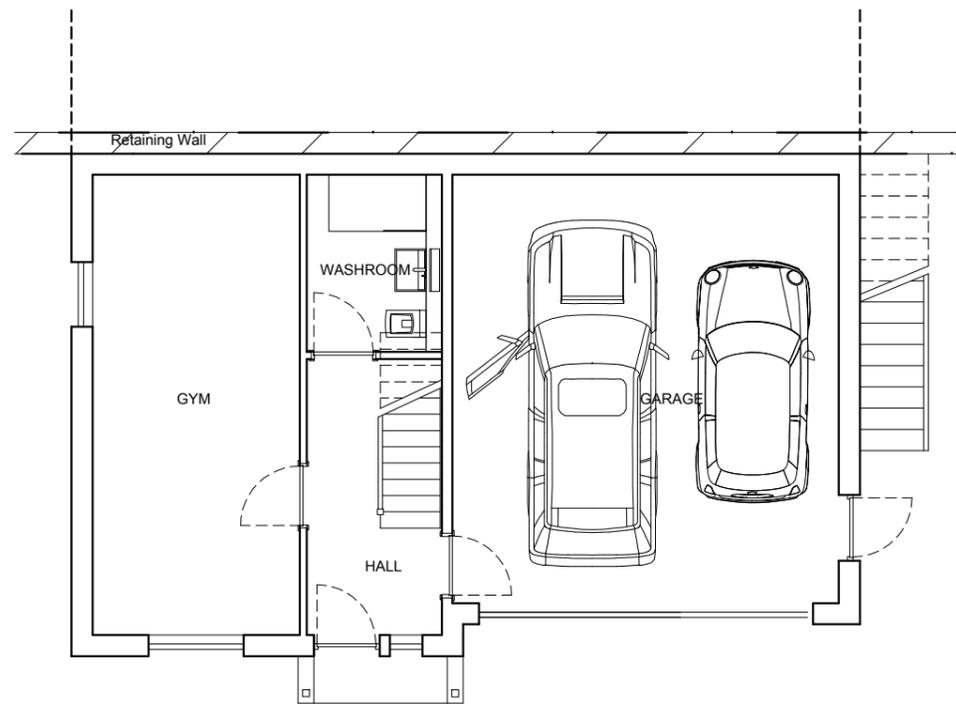
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DRAWING NUMBER	IN-P-02		
DRAWN	JSM NOV 2018	SCALE	A3
CHECKED	-	1:100	



SECOND FLOOR



FIRST FLOOR



GROUND FLOOR

REV.	DESCRIPTION	INT.	DATE



PROJECT
**BURY NEW ROAD,
 RAMSBOTTOM**

DRAWING TITLE
**PICKMERE HOUSE TYPE
 PLANNING DRAWING
 SHEET 2**

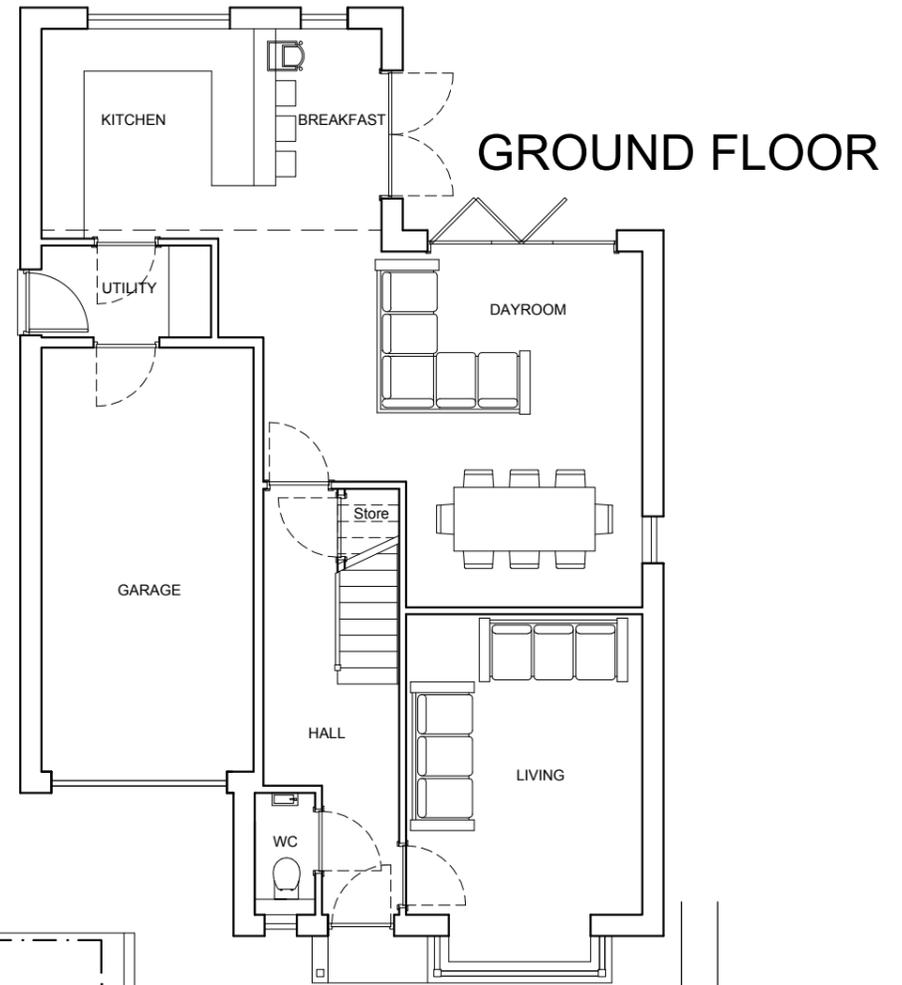
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DRAWN	JSM NOV 2018	SCALE	A3
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FRONT ELEVATION



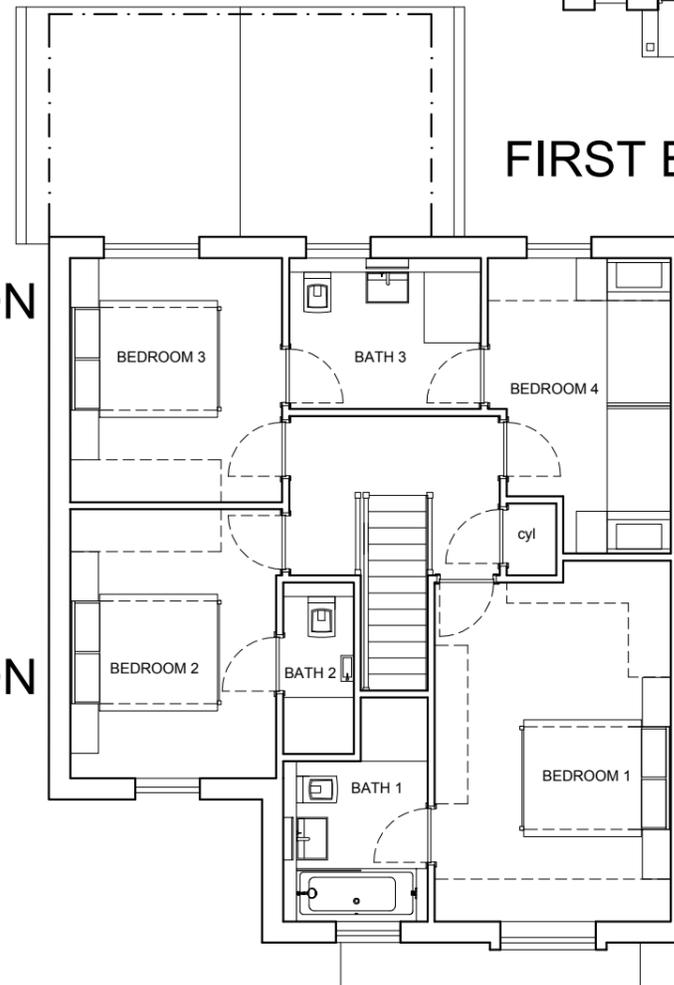
REAR ELEVATION



GROUND FLOOR



SIDE ELEVATION



FIRST ELEVATION



SIDE ELEVATION

REV.	DESCRIPTION	INT.	DATE
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PROJECT
BURY NEW ROAD,
RAMSBOTTOM

DRAWING TITLE
PARKGATE HOUSE TYPE
PLANNING DRAWING

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DRAWING NUMBER	PK-P-01		
DRAWN	JSM	NOV 2018	SCALE
CHECKED	-	-	1:100

A3



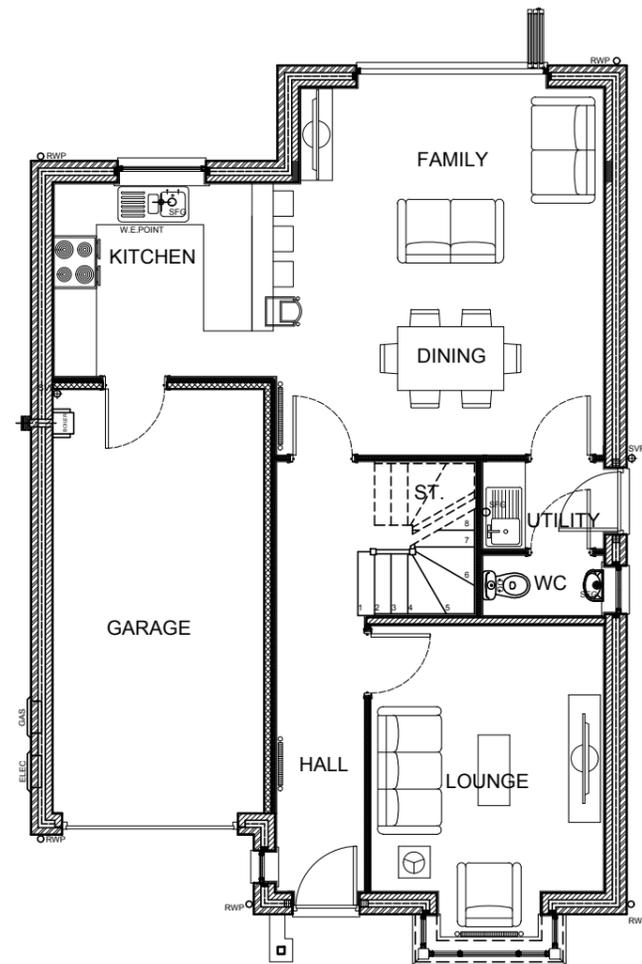
FRONT ELEVATION



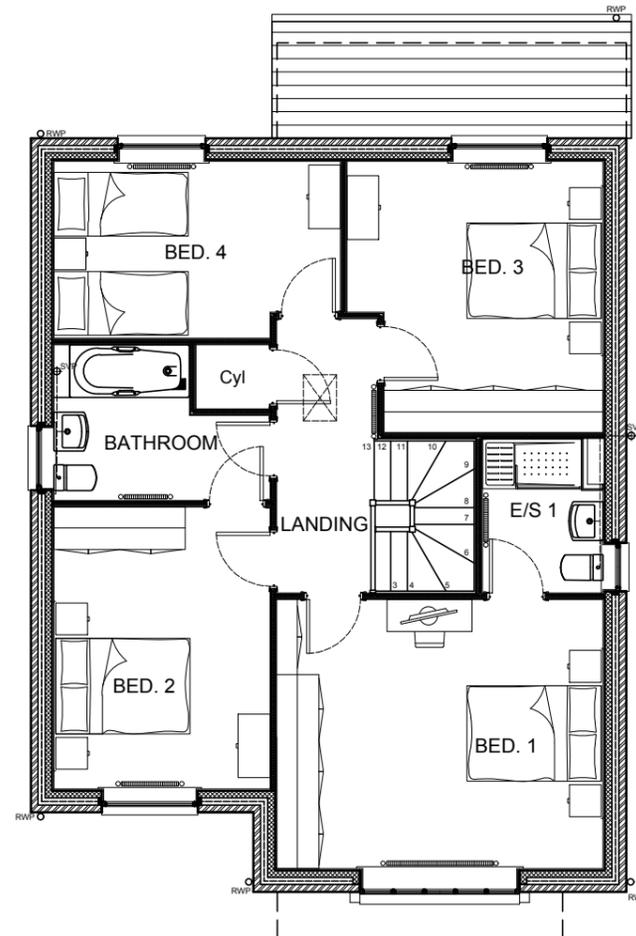
SIDE ELEVATION



SIDE ELEVATION



GROUND FLOOR



FIRST FLOOR

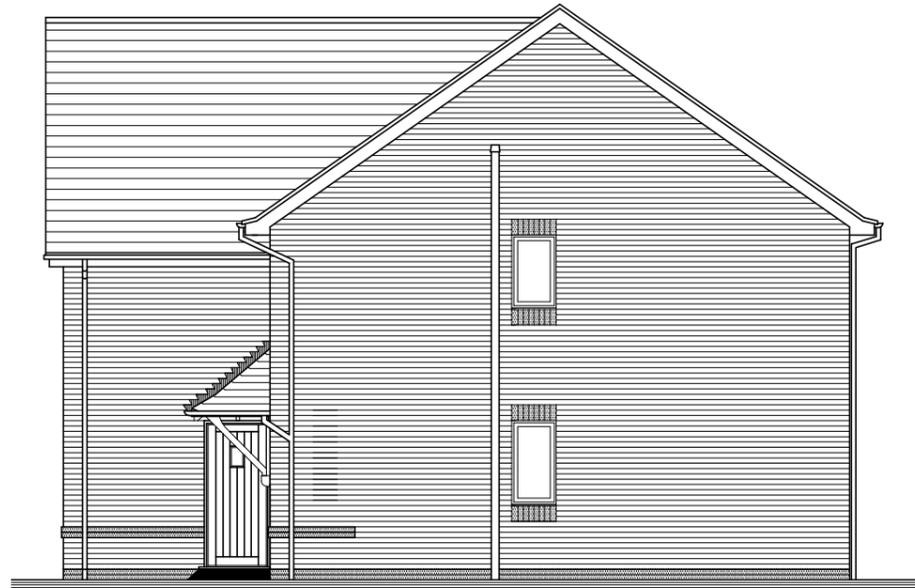


REAR ELEVATION

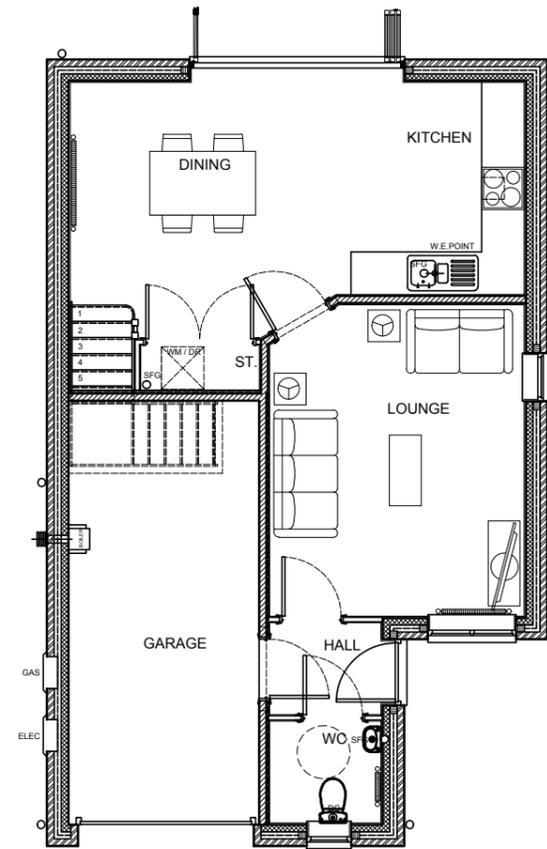
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DRAWING NUMBER	WN-P-01	SCALE	A3
DRAWN	JSM 28.11.18	CHECKED	1:100
CHECKED	-		



FRONT ELEVATION



SIDE ELEVATION



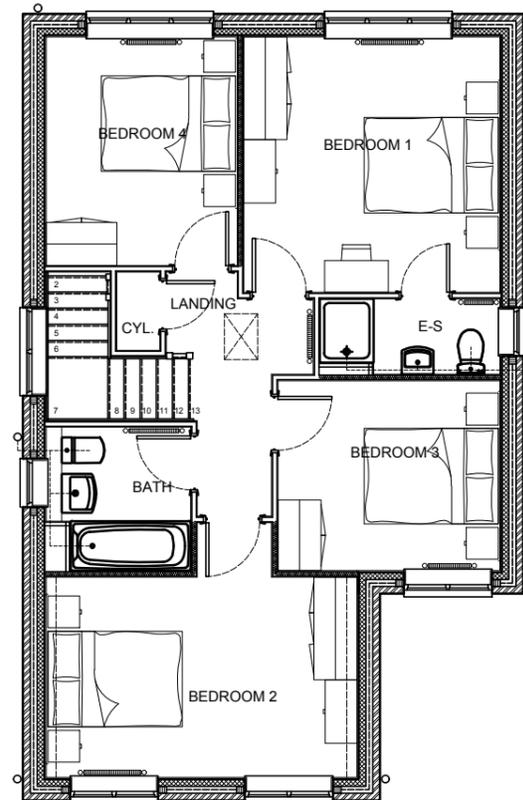
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REAR ELEVATION



SIDE ELEVATION

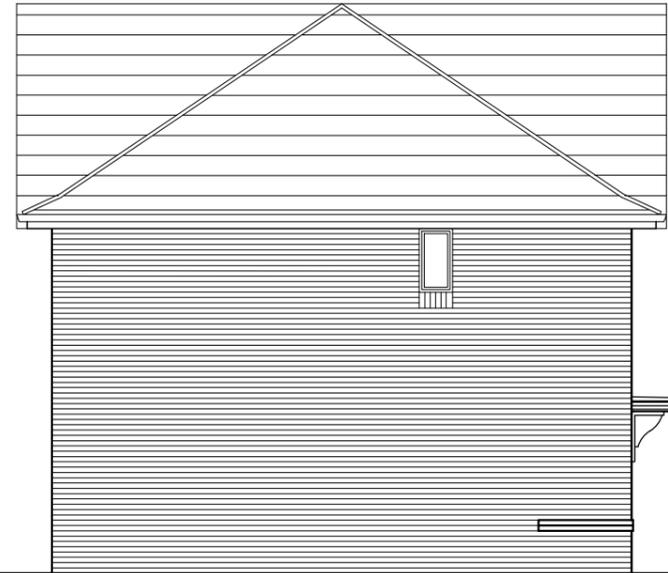


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DRAWING NUMBER	WH2-P-01	SCALE	A3
DRAWN	JSM NOV 2018	CHECKED	1:100
CHECKED	-		



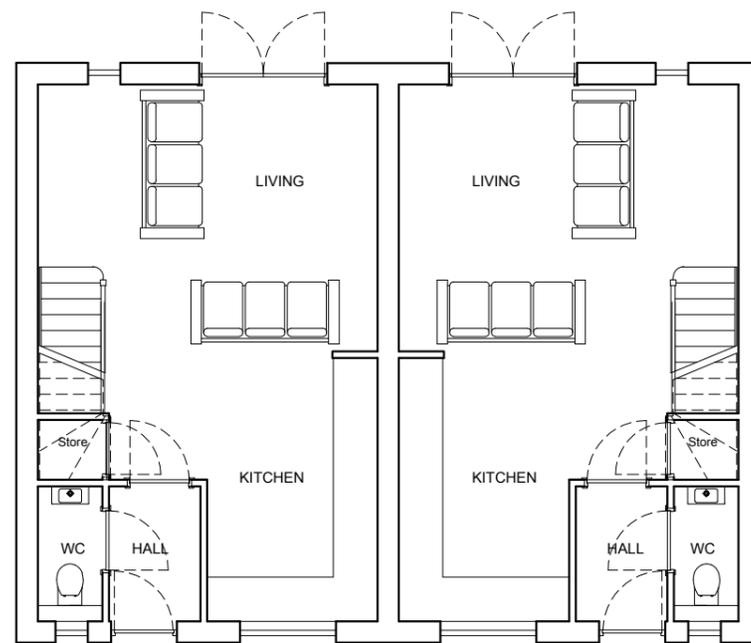
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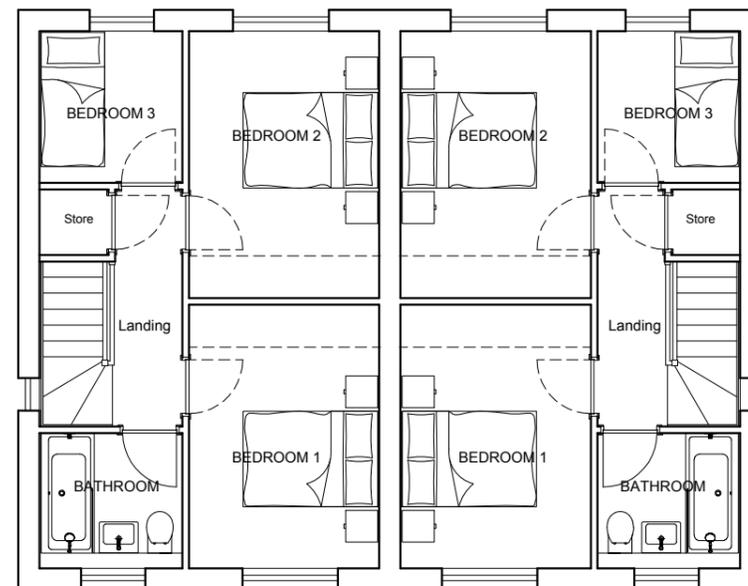
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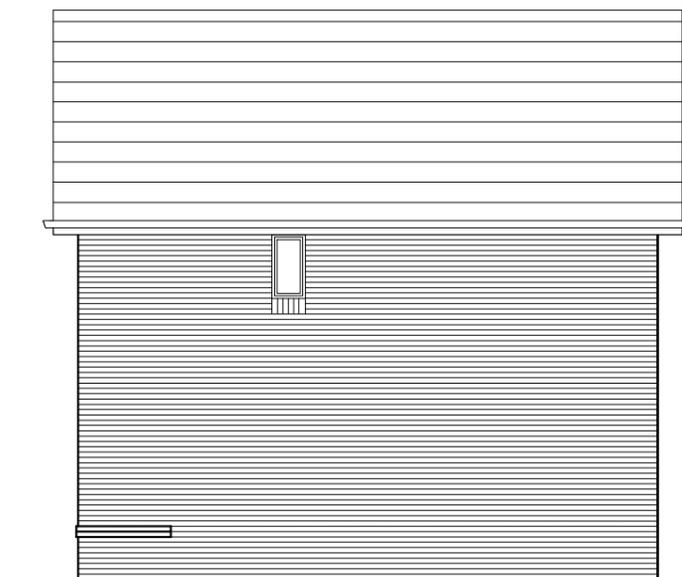
REAR ELEVATION



GROUND FLOOR PLAN



FIRST FLOOR PLAN



SIDE ELEVATION

REV.	DESCRIPTION	INT.	DATE



PROJECT
BURY NEW ROAD,
RAMSBOTTOM

DRAWING TITLE
TARLETON HOUSE TYPE
PLANNING DRAWING

JOB NUMBER	-	REV	-
DRAWING NUMBER	TA-P-01		
DRAWN	JSM	NOV-2018	SCALE
CHECKED	-	-	1:100

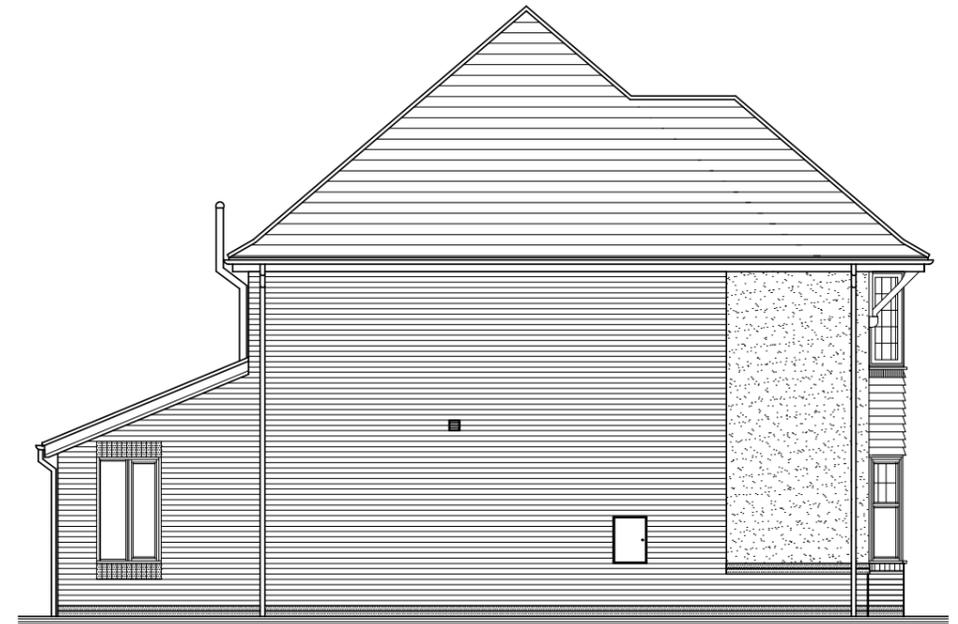
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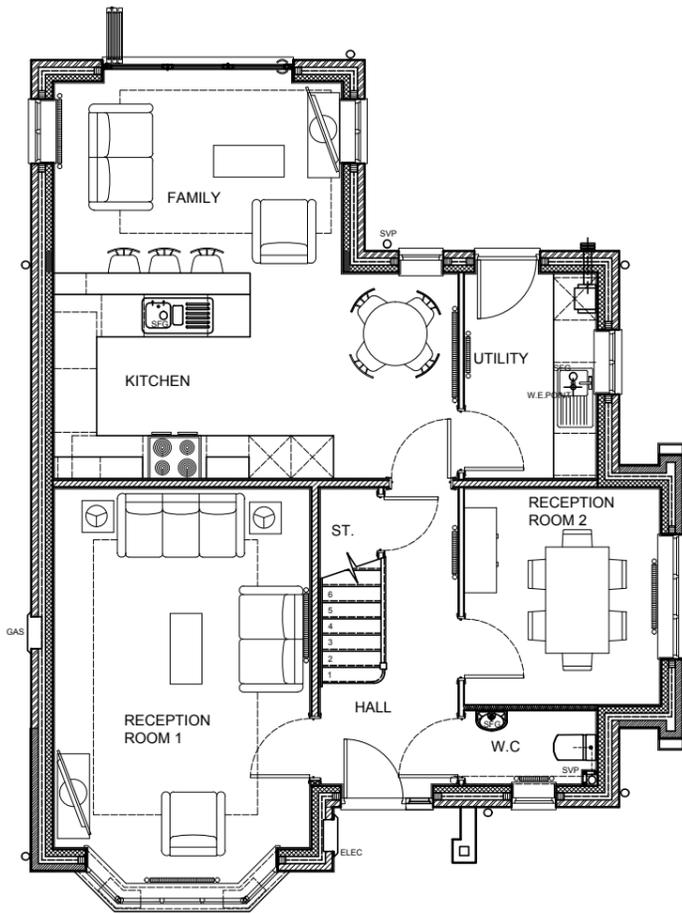
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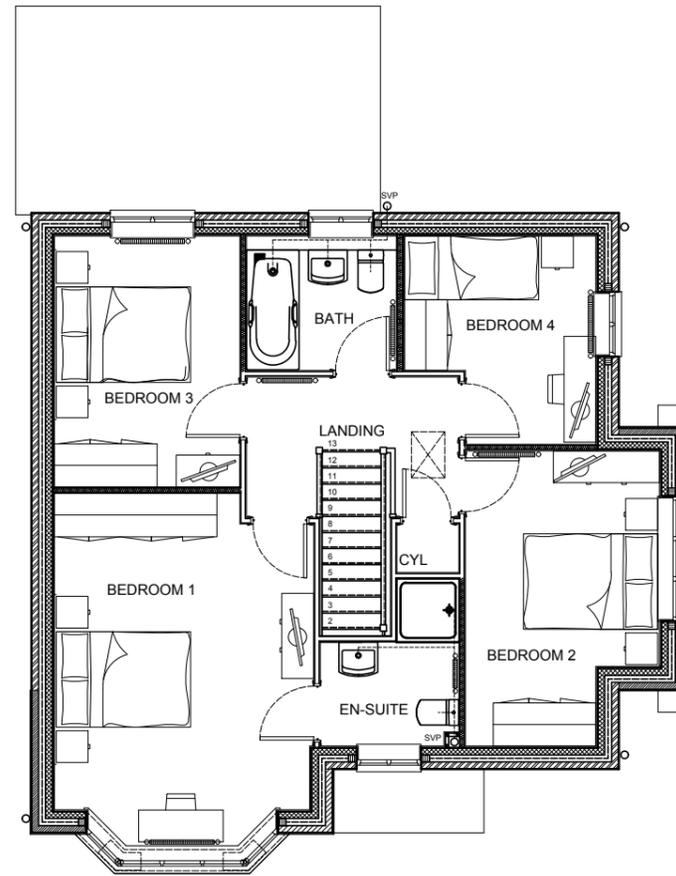
SIDE ELEVATION



SIDE ELEVATION



GROUND FLOOR



FIRST FLOOR



REAR ELEVATION

REV.	DESCRIPTION	INT.	DATE
			
PROJECT BURY NEW ROAD, RAMSBOTTOM			
DRAWING TITLE HAIGH HOUSE TYPE PLANNING DRAWING			
JOB NUMBER		-	REV
DRAWING NUMBER		HA-P-01	-
DRAWN	JSM	28.11.18	SCALE
CHECKED	-	-	1:100
			A3

Ward: Ramsbottom + Tottington - Tottington

Item 04

Applicant: School Business Manager

Location: Elton High School, Walshaw Road, Bury, BL8 1RN

Proposal: Creation of new artificial grass pitch (AGP) and installation of new 4.5m high ball stop fencing and entrance gates to AGP perimeter, new 2.0m high and 1.2m high pitch perimeter barrier and entrance gates within AGP enclosure, new hard standing areas, new floodlight system and new maintenance equipment store located within AGP enclosure

Application Ref: 63785/Full

Target Date: 28/05/2019

Recommendation: Approve with Conditions

Description

The application relates to grounds within Elton High School which has been redeveloped to provide a replacement school building and sports hall and associated facilities. The school site is bounded to the north by Walshaw Road, to the east by houses on Cotswold Crescent, to the south by Leigh Lane and to the west by Owlerbarrow Road.

The school building is set back into the site and part of the re-development included the provision of sports playing pitches, one of which was to be located directly behind the new school to the south. The pitch was to replace that which was to be lost as a result of the siting of the main school building and essentially re-instated the grass surfacing which comprised the playing pitches.

The school have historically experienced problems with drainage on the site and state that the sports playing pitches are unusable for approximately nine months of the year due to frequent waterlogging. The school have therefore sought to investigate whether there would be any alternative and viable options which would solve this problem.

One such solution would be for the installation of an Artificial Grass Pitch (AGP) and as a result of stakeholder discussions on this matter, the school have the opportunity to apply for a grant award which would part fund an investment into a new playing pitch. The application states that not only would it deliver wide ranging benefits for the pupils of the school, but it is also intended for a wider community use out of school hours, thereby significantly improving the quality of sports facilities available in Elton and Bury.

This application therefore proposes the creation of a new AGP together with associated floodlighting, boundary treatment and equipment storage.

Details comprise:

- Installation of a 106m x 70m AGP to facilitate various football pitch sizes and training areas;
- Installation of 16 lighting units on 8 no. x 15m high floodlight columns along the north and south perimeter, with integrated fitted louvers/baffles;
- 4.5m high ball stop fencing and entrance gates to the AGP perimeter;
- Perimeter pitch barrier - 1.2m and 2m high and gates within the fenced enclosure;
- Areas of hardstanding around the perimeter for access and maintenance;
- Maintenance equipment store, 6m x 2.4m x 2.59m.

The development would require some levelling works to be carried in the area and would

include a drainage scheme and landscaping along the perimeter of the school site with houses on Cotswold Crescent.

The hours of use of the pitch have been amended by the applicant and are now proposed as:

08.45 to 21.00 Monday to Friday (floodlights to extinguish at 21.10 to allow for safe exit)
09.00 to 20.00 Saturday and Sunday (floodlights to extinguish at 20.10 to allow for safe exit)

The school car park would be available for community use and local football teams outside of the school opening hours.

Relevant Planning History

58279 - Demolition of existing school buildings; Erection of replacement school and associated sports provision together with new accesses, car parking and landscaping - Approve with Conditions 18/03/2015

58794 - Erection of new substation and enclosure to the substation and bin store - Approve with Conditions 24/07/2015

58853 - Variation of condition no.13 of approved planning application 58279 to read "The development hereby approved shall be carried out in accordance with the surface water drainage scheme on Drawing Number (52)001 Rev P10 and implemented prior to the first occupation of the development hereby approved and thereafter maintained in accordance with the approved details - Approve with Conditions 11/08/2015

59246 - Non-material amendment following grant of planning permission 58853 - Amend approved drainage scheme Drawing Number (52)001 Rev P10 to allow relocation of attenuation tank and connection to combined sewer. - Approve with Conditions 07/10/2015

60192 - Non-material amendment following granting of planning permission 58853 - Various minor amendments across the scheme to reflect the progression of further design details. - Approve 22/06/2016

60371 - Non-material amendment following granting of planning permission 58794 - Amendments to the design of enclosure to provide an alternative layout for the substation and bin storage area. - Approve 12/08/2016

60835 - Variation of conditions 2, 12 and 16 of planning permission 58853 to allow for changes to the final ground levels and amendments to the landscaping and surface water drainage scheme - Withdrawn by Applicant 23/02/2017

62089 - Erection of 3 metre high ball-stop fence within school site - Approve with Conditions 15/12/2017

15/0371 - Paving flags from the gate which turns into the school and the outside corner of Walshaw Road are badly damaged and uneven - 27/08/2015

16/0069 - Creation of mounds / deposit of material - 25/02/2016

16/0203 - Breach of condition - 04/05/2016

16/0483 - In breach of planning permission 58853 - not complying with the requirements regarding surface flooding - 16/12/2016

18/0142 - Breach of conditions (58279) - 21/05/2018

19/0071 - Breach of conditions 12 & 13 (drainage) of planning permission 58279 -

Publicity

Letters sent to 62 properties on 5/4/19 to properties on Walshaw Road, Ettington Close, Owlerbarrow Road, Leigh Lane, Cotswold Crescent, Wellington Street, Dearncliffe Close, Pickering Close, Tottington Road, Prospect Terrace, Sefton Street, Harwood Road, Bradley Fold Road.

Objections received from Nos 6, 10 Ettington Close, 73, 125, 135 Cotswold Crescent, 5 Owlerbarrow Road

- We have regular minor flooding in our garden caused by run off from the school playing fields and are concerned that this will be exacerbated by the installation of artificial grass pitch and hardstanding;
- The floodlighting will create a visual disturbance in our garden and property - there is no information where this will be sited and what time the floodlighting will be switched off;

- There will be increased noise and disturbance in the evenings. No information about the use of the pitch in the evenings.
- We require substantially more information about this application. We have not found the school to be considerate to residents concerns in the past and if there is an issue once the pitch is in place we are concerned they won't be interested in resolving them.
- This facility was originally sited at the front of the school, but that has obviously changed. The 4.5m high fencing will totally affect our view and will not always prevent balls from leaving the playing area.
- Evening sport will create noise until what time? Floodlighting will cause a sleep problem in our back 2 bedrooms where our Grandson sleeps. We were originally told that the area behind our home "would be returned to its original usage of a football pitch and a running track". Why has this changed without notifying us?
- We are already experiencing flooding in our back garden due to the failure to install proper drainage. An all weather pitch will increase that problem.
- The field is large enough for the facility to be built well away from current houses. Why has this avenue not been proposed?
- Noise - late night use, and additional noise at weekend;
- Object to it's position in relation to the school. It would surely be better to have the pitch in front of the school thus reducing the impact of the flood lighting and noise to local residents, as far fewer resident would be affected by the noise and floodlighting.
- Having the pitch at the back of the school, out of site of the main road, would make site security more of a problem. Having it visible from the main road would reduce the opportunities for unauthorised use or for non users creating damage to school property.
- Concerned people will park on Walshaw road
- Other AGPs at Castlebrook, Woodhey and Parrenthorn etc. have no nearby housing. Facilities also available at Play Football Bury, the college.
- The drainage IS a problem on the area behind the school as it is compacted with very little top soil, causing flooding to nearby gardens including mine, the rest of the field becomes boggy in wet weather a 40 year+ problem limiting its use.
- The tree screening promised in the original school application has died but not removed or replaced
- Gates have been erected outside my property - for what purpose?
- The litter situation is horrendous behind the fence.

Comments from No 127 Cotswold Crescent and 71 Cotswold Crescent

- I could not find exactly where the AGP will be sited on your website - will it be at the back or front of the school?
- Over the past few years the field at the back of the school has been holding water and the water runs off, flooding the gardens of the houses which has been raised before with a Council representative at the meetings for the build of the new school;
- Before any works take place to build the AGP, may I suggest that proper drainage is put in so as the AGP can be laid correctly and used in a proper manner.
- Over the last few years the playing fields have not been used by the school or the community due to the water logged field and so would be a waste of money putting down a AGP without proper drainage first.
- We neither object to, nor support this application however we would like to make the following comments: consider the floodlights would be on too late and would ask the LPA to review a more suitable curfew, preferably no later than 9pm.
- The site is known to hold surface water in times of prolonged rainfall and so a clear surface water drainage system should be submitted to the LPA for review. It is positive to see the applicant proposing that no development shall begin until a detailed sustainable surface water drainage scheme for the site has been submitted. We would like to stress the importance of this requirement to ensure that flood risk is not increased to the adjacent properties up to and including the 1 in 100 year event, plus an allowance for climate change

Support letters received from Rota Engineering, 59 Tottington Road, 16 Dearncamme Close, 10 Pickering Close, 169 Walshaw Road, 41 Sefton Street, 53-55 Harwood Road, Prospect Terrace, 252 Bradley Fold Road, 53 Elton fold Chase, 43 Grantham Drive, 147

Tottington Road, 58 Whittington Close

- What a superb addition to the school and for the community this will be. Bury has been crying out for modern sporting facilities of this kind for years. Many kids in the local community will have a top class sporting venue to use.
- The modern day LED lighting will see very little light pollution with a focused beam going direct onto the pitch, like the new street lighting. No disturbance for the neighbours.
- As for the temporary road behind Cotswold Crescent, the build of the pitch will be over and done in 3 months.
- The 4.5m fence is just immediately around the pitch and will be of similar construction to the current see-through fencing.
- Flooding has been significantly reduced since the new school was built. Drainage is now good.
- As a manager of a local football team I believe that this facility will help aid the survival of grass roots football in the local area. We constantly struggle to get games played because of the weather and feel that there are not enough AGP in Bury compared to other local towns. This facility is a must and will help all sorts of sports to flourish.
- Facilitate football for young people through the winter months due to our general chronic weather conditions.
- Hopefully the technology regarding LED lighting will ensure the facility is installed in a sympathetic manner for the local residents.
- There is going to be an excellent drainage system which will reduce the water run off
- In these times of trying to counter childhood obesity, it would seem perverse if the community was to be denied such a facility. The new pitch would also improve an area of the school that is underused and is far enough away from any private residential dwellings, so will not cause a nuisance.
- Restoration of the whole of the rear playing fields to the original plan would a better use of the £700K budget on the application site. This would provide a sporting facility all year round for all disciplines not just football for the School and enhance its reputation within the local area.
- The school works tirelessly to fund raise for the extra money that they need to raise. I strongly believe that The Elton High deserves this application to be granted if they meet the conditions.

Those who have made representations have been informed of the Planning Control Committee meeting.

Statutory/Non-Statutory Consultations

Traffic Section - No objection subject to conditions.

Drainage Section - No objection subject to a condition to provide further details, calculations and maintenance proposals.

Environmental Health - Contaminated Land - No comments to make.

Environmental Health - Pollution Control - No objection subject to a condition to control hours and provide noise attenuation barriers.

Greater Manchester Police - designforsecurity - No response received.

United Utilities (Water and waste) - No objection subject to conditions

Sport England - No objection

Pre-start Conditions - Applicant/Agent has agreed with pre-start conditions

Unitary Development Plan and Policies

NPPF	National Planning Policy Framework
EN1/2	Townscape and Built Design
EN1/3	Landscaping Provision
EN5/1	New Development and Flood Risk
EN7	Pollution Control
EN7/2	Noise Pollution
RT2/3	Education Recreation Facilities
RT2/4	Dual-Use of Education Facilities

RT3/5	Noisy Sport
HT2/4	Car Parking and New Development
HT5/1	Access For Those with Special Needs
CF2	Education Land and Buildings
EN1/5	Crime Prevention

Issues and Analysis

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning considerations. The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP Policy will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

Principle - Paragraph 91 of Chapter 8 - Promoting healthy and safe communities - states that decisions should aim to achieve healthy, inclusive and safe places to enable and support healthy lifestyles, through the provision of safe and accessible infrastructure including sports facilities, and at Para 92 to provide the social, recreational and cultural facilities and services the community needs and plan positively for the provision and use of shared spaces and community facilities such as sports venues, to enhance the sustainability of communities and residential environments.

Para 97 of the NPPF states that existing open space, sports and recreational buildings and land, including playing fields, should not be built on unless :

- an assessment has been undertaken which has clearly shown the open space, buildings or land to be surplus to requirements; or
- the loss resulting from the proposed development would be replaced by equivalent or better provision in terms of quality and quantity in a suitable location; or
- the development is for alternative sports and recreation provision, the benefits of which clearly outweigh the loss of the current or former use.

UDP Policy RT2/3 - Education Recreation Facilities would not allow development where it would result in the loss of education recreation facilities unless there is no long term need, significant demand or an adequate supply within the neighbourhood.

UDP Policy RT2/4 - Dual-Use of Education Facilities supports an increased level of recreational provision by looking favourably on proposals for the dual-use of education facilities and playing fields by the community.

The proposed development would provide a better quality and usable sports playing pitch facility for the school which would meet the educational and sporting curriculum requirements all year round. It would also be beneficial to the advancement of sports activity and engagement and provide a genuine asset and a much needed facility for local community groups and sports organisations in the area which would help to deliver a national strategy for grassroots football.

Sport England are satisfied the proposed AGP would meet a strategic need and provide sporting benefits that would outweigh the loss of the existing playing field.

As such, it is considered that the development would deliver educational and social benefits to both the school and local community, and would comply with the principles of the NPPF and UDP policies RT2/3 and RT2/4.

Siting and layout - The proposed AGP would be located directly behind the school building to the south on land originally earmarked as a grassed sports pitch and this location best serves access to the pitch from the school and is close to the sports hall and

changing facilities. It would have a larger footprint than that previously approved but not extend further towards the eastern boundary and the houses on Cotswold Crescent. As such the siting of the proposed AGP would be considered acceptable. The AGP would be closer to houses on Owlerbarrow Road but at more than 50m away, it would still be a considerable distance from these properties.

The AGP itself would be laid out to provide a number of different sized football pitches which would cater for different needs and enclosed by a 4.5m high mesh type fence with lockable gated entrances. There would be an area of hardstanding around the pitch but this would not be excessive in area and would facilitate pedestrian access and circulation only.

A relatively small storage container would be located on the north elevation within close proximity to the AGP and on part of the identified hardstanding area and would be easily accessible to users of the pitch.

One marked difference of this scheme to that previously approved would be the proposal to install floodlighting to the perimeter of the site. There would be 16 lights mounted on 8 columns of 15m in height. The floodlights would be equally spaced along the north and south perimeter of the pitch. The application states the number, position and height of the floodlights are required to provide good uniformity lighting of the pitch whilst ensuring minimum light overspill.

In considering the erection of floodlighting in principle alone, given that the lighting would be in association with a sporting facility, and given the slimline design and number of lights to be provided, on balance they are considered acceptable to the scheme. Whether the position of the lights and the luminance/light spillage would be acceptable in terms of impact on the nearby residential amenity, is discussed in more detail below.

This application proposes a 'dual use' facility, open to the community and sports groups in the local area. Community use of the sports facilities at the school was envisaged as part of the complete re-development of the school site, and similar is proposed in this application. In principle therefore, it has been accepted that a sports pitch in this location out of normal school hours would be acceptable.

For community users, the pitch would be located without the need to walk through the school building itself, and therefore it could operate as a separate facility. Some of the objections raised by local residents have questioned the security of the siting of the pitch and the opportunities it would present for unauthorised use or potential for damage to school property, particularly later in the evening.

The AGP would be a facility catering for groups of people, many of who would arrive together or meet in the car park beforehand. The facility would be lit by floodlights which would be kept on to extinguish 10 mins after the pitch use closed, which would allow for a safer exit from this area of the site and out of the school grounds. It would also be the responsibility of the school and the community groups themselves to manage the security and comings and goings of 'out of hours' users.

It is therefore considered that the siting and location of the proposed AGP would be acceptable in principle, would be located close to the school buildings and sports hall for the school's use, and as a separate facility could cater for the needs of community groups.

As such, the layout and siting of the proposed development is considered acceptable and would comply with UDP Policies RT2/3 - Education Recreation Facilities, RT2/4 - Dual-Use of Education Facilities and the principles of the NPPF.

Design and visual impact - The design and appearance of the proposed AGP would be different to that of a grassed pitch, not only in terms of the surfacing, but would introduce multiple pitch markings of vibrant colours to distinguish the different pitch types. Whilst the

pitch would be a more strident design, this is characteristic of a surfacing of this type, and not uncommon to school's or other sporting facilities.

The proposed AGP would be enclosed by a 4.5m high ball stop fence which would run around the perimeter of the pitch. The fence would be a green mesh type, commonly seen around school perimeter's in the borough, providing the required level of security whilst being less visually intrusive. The other perimeter fencing would be at a lower level and also of the same mesh type appearance and as such considered acceptable.

The storage unit would be a relatively small structure, 6m x 2.4m and 2.59m in height, green in colour and located on the northern side of the pitch and as such considered ancillary to the development.

The proposed lighting columns would arguably be the most visible element of the development proposals and would be the tallest structure in the area, which may also be seen from soon distance. In terms of design, the poles would be of a slimline profile, grey in colour, and designed so as to minimise appearance. They are also of a type which are commonly often found at sporting grounds or sports facilities. The louvers and baffles will also assist to mitigate the luminosity and with restricted hours, there would be sufficient intervening features from the site and general public views. It is considered that unlit, the floodlights on balance would not have a significantly adverse visual impact and would be acceptable in this case.

It is therefore considered that design of the proposed AGP and the associated equipment would not detrimental when viewed from close to and further afield and as such comply with UDP Policy EN1/2.

Impact on residential amenity - The nearest properties to the AGP would be the dwellings on Cotswold Crescent, Ettington Close and Owlerbarrow Road whose rear elevations and gardens face the eastern boundary. At the closest point, the properties on Cotswold Avenue would be approximately 45m away, Ettingham Close 52m and Owlerbarrow Road 50m from the AGP.

Use of AGP - The area proposed for the AGP had previously been ear-marked for a sports pitch facility, and therefore in principle it is considered that the location of the AGP, albeit of a different surfacing and type, would be acceptable.

As an 'all weather surfacing' the AGP would enable more intensive use for longer periods of time, into the later evening and at weekends. In terms of noise, this would generate noise disturbance from voices of the users, whistles and the noise of the ball hitting the side fences.

UDP Policy RT3/5 - Noisy Sports states that the following criteria should be satisfied when considering proposals:

- the use would not have an unacceptable detrimental effect on the environment of the site and the surrounding area or endanger people and their property;
- the use would not have an unacceptable detrimental effect on the amenity of surrounding areas, particularly residential areas;
- the use would not have an unacceptable detrimental effect on the users of the adjacent sites;
- any increased traffic flows would not have a detrimental effect on the surrounding area;
- where appropriate, adequate car parking can be provided.

A Noise Impact Assessment has been submitted with the application. The highest predicted noise level at the nearest residential façade would be 49 dB LAeq (1 hour). The highest predicted noise level in the residential gardens would be 49 dB LAeq (1 hour). The noise assessment submitted with the application states that the predicted noise levels are below the proposed criterion of 50 dB LAeq (1 hour) derived from World Health Organisation

(WHO) 1999 as being the threshold for the onset of moderate community annoyance. It would be reasonable to attach a condition requiring the AGP facility to operate only at the proposed hours of opening.

The Institute of Environmental Management and Assessment (IEMA) Guidelines for Environmental Noise Impact Assessment Version 1.2 (2014) categorises the significance of changes in noise levels at sensitive locations. On the basis of the IEMA guidelines, the proposals would result in a moderate increase in the existing noise climate.

The Noise Report concludes that it would be expected that the development would potentially be noticeable but not intrusive and would result in 'no observed adverse effect' as defined in the Noise Policy Statement for England (NPSE) requirements.

The Report recommends that a noise management plan be implemented as part of the development to include an action plan of how complaints, if received by the school, would be addressed. The Report also recommends that the perimeter fencing is fixed with 'neoprene isolators' a measure used for noise prevention which are bolted to the support posts and which reduce ratting and vibration associated with ball impacts on fencing.

The Pollution Control Section have been consulted on the proposals and have raised no objection in principle, subject to a condition to control the hours of use of the pitch to those proposed and provide details of the scheme for the inclusion of neoprene isolators.

In terms of visual impact, the site area would require some ground works to create a relatively level platform for the pitch and this would be achieved by the creation of a plinth, which would result in the pitch being approximately 1m or so higher than the existing ground level and the ground level of houses on Cotswold Crescent and Ettingham Close. The change in gradient would be viewed over a distance of over 45m, and given the separation between the development and these properties, the change in levels would not be significantly perceptible.

The view of the AGP would also be partly obscured by the landscaping which is proposed to the eastern boundary of the site. The AGP would be enclosed by a perimeter fence, of a green mesh type which provides a secure area whilst less visually intrusive than other boundary treatments. At a distance of 45m away, and with the proposed screening, it is considered the AGP would not cause significant harm to outlook.

The houses on Owlerbarrow Road would be 50m or more away and again, in consideration of the above factors, considered to be significant distance not to be seriously affected by the siting of the AGP.

On balance, with the imposition of conditions for the implementation of the mitigation measures, it is considered impact on the amenity of the nearby occupiers from the siting of the AGP would not be significantly adverse and the proposed development would comply with UDP Policies EN1/2, EN7/2 and RT3/5.

Floodlighting - The most prominent feature of the AGP would be the proposed floodlighting, comprising 16 lights mounted on 8 poles of 15m in height.

The applicant has been asked to provide a justification for the reasoning behind the necessity for such tall structures in comparison to what would be lesser visually intrusive lights of 10m/12m for example.

The 15m high poles would allow all luminaires to be mounted such that there would be low vertical light overspill but would provide good uniformity on the playing field which is essential for safe play. By contrast masts higher than 15m demand more intensive lighting whilst lower masts, for example 12m high, would result in a higher aiming angle resulting in increased overspill and glare projected onto adjacent land. Lower masts would not provide an acceptable solution and therefore 15m heights would provide the most effective solution

with the least impact on nearby residential properties.

The applicant has carried out a light impact assessment using BS EN 12193 which specifies lighting for indoor and outdoor sports events most practised in Europe and provides lighting values for the design and control of sport lighting installations in terms of illuminances, uniformity, glare restriction and colour properties of the light source. The Institute of Lighting Professionals (ILP):Guidance for Obtrusive Light is a document which categorises the environment into 5 Zones. The application site would fall into Environmental Zone 2, which is a rural location with low district brightness, for example a village, rural or relatively dark outer suburban location.

Lighting intrusion from the proposed 15m high masts has been calculated such that the proposed luminaire intensity and light intrusion created whilst the floodlights are in operation would be below the threshold for an environmental zone E2 location and therefore would comply with guidance.

The applicant has stated that the proposed floodlights have been tested to check whether lower masts heights would be possible. It was concluded from these tests that compliance uniformity of the pitch could not be achieved with 10m ,12m or 13m high masts, as not enough light would be projected into the centre of the football pitch which would be vital for safe play. Lower masts would fall below the lighting standard necessary to comply with The Football Association Technical requirements. Every AGP project that is awarded capital grant aid by The Football Association must comply with these requirements in order to make the pitch safe for play whenever floodlights are operated and the school is dependant on this grant to deliver the sports facility.

The floodlights would be fitted with control switches and time clocks to ensure that they would not remain on past the permitted hours of operation and all the proposed floodlights would be fitted with integral louvers or baffles which are designed to direct light and reduce light spill and these measures would therefore mitigate against towards reducing impact on the nearby residential proprieties and the surrounding environment. These measures would be conditioned.

Taking concerns and comments on board with regards to the hours of operation of the lights and the AGP itself, the applicant has revised the original proposed hours and suggested that 8.45 to 21.00 Monday to Friday (floodlights to extinguish at 21.10) and 9.00 to 20.00 Saturday and Sunday (floodlights to extinguish 20.10) would be more neighbourly within this area. This is considered to be a more reasonable time, and especially during the darker Winter months when residents would more likely to be inside and settling down for the evening.

It is accepted that the new structures would be visible from nearby residential properties and from wider views. However, the masts would offer a slim-line profile to minimise daytime appearance and be as less visually intrusive as possible.

In conclusion, the applicant has provided evidence that a 15m high floodlight system would be the only viable option which would satisfy the Football Association Technical Requirements for the proposed AGP and to qualify for the grant needed to fund the scheme. The project would also benefit the wider community to enable local clubs and groups to deliver a football development plan in an area of strong local need and comply with the identified key areas of the Football Association's national game strategy, as well as the sporting benefits which would be provided for the school.

On balance, the impact of the AGP would be considered limited and with the mitigation measures proposed and the control of hours, the proposal would be acceptable and comply with the NPPF and UDP Policies EN1/2, RT2/3, RT2/4 and RT3/5.

Drainage - The site has historically suffered from poor drainage not only experienced by the school itself, with waterlogged and unusable playing fields and pitches, but by local

residents on Cotswold Crescent adjacent to the site boundary, have been affected by surface water run off and flooding of their properties from water from the site. This is apparent not only from the objections which have been raised to the application but also from complaints received by the LPA since the new school was built out.

It is therefore essential to ensure that the proposed development make no worse, but actually seeks to improve the drainage situation on the site given the current situation.

A Drainage Scheme has been submitted with the application. The scheme relies on permeable layers beneath the pitch to act as attenuation but does not include maintenance proposals which would likely be needed subsequent to construction. The scheme does also not include exceeding calculations and flow paths to demonstrate that neighbouring properties would not be adversely affected.

Whilst the drainage proposals for this scheme suggest that surface water could be managed and disposed of within the site boundary via a connection to the existing surface water network within the school grounds, the applicant does not provide the LPA with the comfort that existing systems would be capable of dealing with surface water run-off and particularly in adverse weather conditions or heavy downfall.

In the Planning Statement, the applicant does however, suggest that prior to any development, a detailed sustainable surface water drainage strategy and maintenance management plan would be submitted for approval.

The Drainage Engineer is satisfied that with a condition for details and further drainage mitigation measures, together with exceedance calculations and flow paths to demonstrate that neighbouring properties would not be affected, the proposed development would be acceptable.

As such, it is considered that the proposed development would comply with UDP policies EN1/2 and EN5/1 and the principles of the NPPF.

Landscaping - It is proposed to deliver additional planting which would run along the eastern boundary of the school site behind the rear of properties on Cotswold Crescent which would face the development site. This area has been shown indicatively on a plan. The properties planting area would help to mitigate against the visual impact of the AGP and some of the associated equipment and would aid in screening the site from views from these properties. As such a detailed scheme would be required by a planning condition, to which the applicant has agreed.

On a related matter, the applicant acknowledges that some of the landscaping along the eastern boundary of the site which had been planted as part of a condition of the planning approval for the redevelopment of the school site has since died and has not been replaced (as is required by the condition). The applicant and the Education Funding Agency (EFA) who developed the site, have been made aware of this and it is understood that replacement planting will be carried out in the next planting season.

It is therefore considered that with additional planting along the boundary, the proposed development would be less visually intrusive to the adjacent residents and therefore considered to be acceptable and comply with EN1/2 and EN1/3.

Access - For the school use, the pitch would be closely related to the main school building and sports hall and readily accessible to staff and pupils.

For the community use, the pitch would be available outside of school hours, and access could be gained via the main entrance. The school car park which is located at the front of the school would be available for use and footpaths from this leading to the pitch would facilitate pedestrian access through the grounds.

It is considered that the location of the pitch and access to it would not raise any parking or highway safety issues and as such the proposed development would comply with UDP Policies EN1/2, HT2/4 and HT5/1.

Sport England - Sport England has considered the application in the light of the National Planning Policy Framework (particularly Para 97) and Sport England's policy on planning applications affecting playing fields 'A Sporting Future for the Playing Fields of England' .

Sport England's policy is to oppose the granting of planning permission for any development which would lead to the loss of, or prejudice the use of, all or any part of a playing field, unless one or more of the five exceptions stated in its policy apply.

The AGP is a fixed structure that cannot be relocated or resized to meet demand for other pitch sports in the future. The type of AGP proposed can only be used for one or two sports and therefore constitutes a loss of natural turf playing field which it is Sport England's statutory remit to protect. This is because natural turf playing field can be used to accommodate a wide range of pitches and sizes over time to meet changes in demand for pitch sports. For that reason the sporting benefits and strategic need for the AGP that outweighs the loss of natural turf playing field need to be clearly demonstrated in order to meet the requirements of paragraph 97(c) of the NPPF and Sport England's Policy Exception E5.

This application relates to the provision of a new outdoor sports facility on the existing playing field at the above site that results in the loss of natural turf playing field. It therefore needs to be considered against exception E5 of the above policy, which states:

"E5 - The proposed development is for an indoor or outdoor sports facility, the provision of which would be of sufficient benefit to the development of sport as to outweigh the detriment caused by the loss of the playing field or playing fields."

Both the applicant, via the Planning Statement, and consultation with the Football Foundation on behalf of the Football Association, confirm the AGP would meet a strategic need and provide sporting benefits that outweigh the loss of playing field. These relate to:

- Meets an identified local or strategic need e.g. as set out in a local authority or NGB strategy (rather than duplicating existing provision). The Council's 2018 Playing Pitch Strategy identified a need for two AGP's to meet current and future demand in this area. An AGP on this site was specifically identified as a priority in the Local Authority's Playing Pitch Strategy to help meet a training need and reduce overplay on pitches in the area.
- Fully secures sport related benefits for the local community. The Football Foundation is involved in the delivery of this AGP and a Football Development Plan will be prepared as part of the project.
- Complies with relevant Sport England and NGB design guidance. The Football Foundation has confirmed the AGP has been designed to meet FIFA Quality Concept for Football Turf; and
- Is accessible by alternative transport modes to the car.

Given the above assessment, Sport England do not raise an objection as it is considered to meet exception E5 of the above policy.

In terms of noise impact, Sport England note that the Noise Assessment concludes the impact is within acceptable limits and no noise mitigation structures such as acoustic fencing is required or proposed. However, Sport England conclude that the design of the AGP should include neoprene isolators (used for noise prevention) between the fence panels and posts, which are suggested form a condition to ensure this design feature is incorporated within the constriction of the AGP.

Sport England also conclude that the AGP drainage proposal would comply with Sport

England guidance.

Response to objectors

- The applicant has amended the hours for the use of the AGP until 9pm Monday to Friday and 8pm at weekends which is considered to be an acceptable and reasonable time in this particular area.
- The application area was previously ear-marked for a sports pitch and the proposed AGP would be located in the same area.
- Mitigation measures include control of proposed hours, noise prevention measures to be fitted to the boundary fence, installation of control switches, time clocks and baffles to be fitted as standard on the floodlights. A landscaping scheme would be required to aide screen the development site from neighbours views.
- The development seeks to better the current flooding and drainage situation of the school and a drainage condition would be included to ensure as such.
- Parking out of school hours would be provided within the school site.
- The objections have been addressed and covered in the above report.

Statement in accordance with Article 35(2) Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2015

The proposal complies with the development plan and would improve the economic, social and environmental conditions of the area. It therefore comprises sustainable development and the Local Planning Authority worked proactively and positively to issue the decision without delay. The Local Planning Authority has therefore implemented the requirement in Paragraph 38 of the National Planning Policy Framework.

Recommendation: Approve with Conditions

Conditions/ Reasons

1. The development must be begun not later than three years beginning with the date of this permission.
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.

2. This decision relates to drawings and documents -
AGP Additional Landscaping - 18-0360 BM25583 0424 12
AGP Surface water drainage Strategy - 18-0360 BM25583 0424 11
AGP Proposed sections - 18-0360 BM25583 0424 10
AGP Proposed levels - 18-0360 BM25583 0424 09
Site plan - 18-0360 BM25583 0424 02 Rev 02
Location Plan - 18-0360 BM25583 0424 01 Rev 02
AGP Plan - 18-0360 BM25583 0424 03 Rev 01
AGP Layout - 18-0360 BM25583 0424 04 Rev 01
AGP Floodlights - 18-0360 BM25583 0424 05 Rev 01
AGP Elevations - 18-0360 BM25583 0424 06
18-0360 BM25583 0424 - AGP Fixed Equipment Elevations - 07
Playing Field Adjustments - 18-0360 BM25583 0424 08 Rev 01
Noise Impact assessment Reference:7607/DO March 2019 by Acoustic Consultants LTD

and the development shall not be carried out except in accordance with the drawings hereby approved.

Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.

3. The Artificial Grass Pitch hereby approved shall only be available for use between the hours of 8:45 to 21:00 Monday to Friday and 09:00 and 20:00 Saturdays,

Sundays and Bank Holidays.

Reason. To safeguard the amenities of the occupiers of nearby residential accommodation pursuant to Policies EN1/2 - Townscape and Built Design, EN7/2 - Noise Pollution, RT2/4 - Dual-Use of Education Facilities and RT3/5 - Noisy sports.

4. The floodlighting hereby approved shall remain switched off between the following times:
21:10 to 08:45 Monday to Friday and 20:10 to 09:00 Saturdays, Sundays and Bank Holidays.
Reason. To safeguard the amenities of the occupiers of nearby residential accommodation pursuant to Policies EN1/2 - Townscape and Built Design, EN7 - Pollution, RT2/4 - Dual-Use of Education Facilities and RT3/5 - Noisy sports.
5. Foul and surface water shall be drained on separate systems.
Reason. To secure proper drainage and to manage the risk of flooding and pollution and to promote sustainable development and reduce flood risk pursuant to Unitary Development Plan Policies EN5/1- New Development and Flood Risk , EN7/3 - Water Pollution and EN7/5 - Waste Water Management and chapter 14 - Meeting the challenge of climate change, flooding and coastal change of the NPPF.
6. Notwithstanding the submitted/approved drainage information and plans, no development shall commence unless and until surface water drainage proposals have been submitted to and approved in writing by the Local Planning Authority. The scheme should be in accordance with the submitted Surface Water Sustainable Drainage Assessment and must be based on the hierarchy of drainage options in the National Planning Practice Guidance and be designed in accordance with the Non-Statutory Technical Standards for Sustainable Drainage Systems (March 2015). This must include assessment of potential SuDS options for surface water drainage with calculations up to 1:100 year event +40% for climate change, test results and exceedance calculations and flow paths to demonstrate that neighbouring properties will not be adversely affected during such an event, to support the chosen solution. Details of proposed maintenance arrangements should also be provided. The approved scheme only shall be implemented prior to first use of the development hereby approved and thereafter maintained.
Reason. The current application contains insufficient information regarding the proposed drainage scheme to fully assess the impact. To promote sustainable development and reduce flood risk pursuant to Unitary Development Plan Policies EN5/1- New Development and Flood Risk , EN7/3 - Water Pollution and EN7/5 - Waste Water Management and chapter 14 - Meeting the challenge of climate change, flooding and coastal change of the NPPF.
7. Prior to the construction of the Artificial Grass Pitch (AGP) hereby approved, details of a scheme for the inclusion of neoprene isolators between the fence panels and posts shall be submitted to and approved by the Local Planning Authority. The approved details only shall be implemented in the development hereby approved and thereafter maintained.
Reason. Information not submitted at application stage. To mitigate noise impacts in the interests of residential amenity pursuant to Bury Unitary Development Plan Policies EN7/2 - Noise Pollution EN1/2 - Townscape and Built Design and RT3/5 - Noisy Sports.
8. Prior to the first use of the floodlights hereby approved, each lighting column shall be fitted with an integral louvre as detailed in document 'LED Floodlighting' dated 01-05-2019 9 (Code 0400231216). The approved louvres shall thereafter be maintained in the approved positions.
Reason. In the interests of residential amenity pursuant to Bury Unitary

Development Plan Policies EN1/2 - Townscape and Built Design, EC7 - Pollution and CF2 - Education Land and Buildings.

9. Prior to the first use of the floodlights hereby approved, each lighting column shall be fitted with control switches and time clocks to automatically switch the floodlights off no later than 21:10 Monday to Friday and 20:10 Weekends and Bank Holidays. The floodlights shall remain switched off in accordance with the hours approved in Condition 3 of the development hereby approved.
Reason. In the interests of residential amenity pursuant to Bury Unitary Development Plan Policies EN1/2 - Townscape and Built Design, EC7 - Pollution and CF2 - Education Land and Buildings.
10. No development shall commence unless and until a Noise Management Plan as recommended in the Noise Impact assessment Reference:7607/DO March 2019, has been submitted to and approved by the Local Planning Authority. The Noise Management Plan shall be implemented on first use of the development hereby approved and maintained throughout the duration of the use of the approved development.
Reason. Information not submitted at application stage. In the interests of residential amenity to ensure good relationships between the school site and neighbouring properties pursuant to Bury Unitary Development Plan Policies EN1/2 - Townscape and Built Design, RT3/5 - Noisy Sports and EN7/2 - Noise Pollution.
11. The development hereby approved shall comply with the maximum predicted noise levels stated in Section 13 - Summary and Conclusions of the Noise Impact assessment Reference: 7607/DO March 2019.
Reason. In the interests of residential amenity pursuant to Bury Unitary Development Plan Policies EN1/2 - Townscape and Built Design, EN7/2 - Noise Pollution and RT3/5 - Noisy Sports.
12. A landscaping scheme for planting along the eastern boundary of the site, as indicated on approved plan 18-0360 BM25583 0424 12, shall be submitted to, and approved by the Local Planning Authority prior to the commencement of the development. The contents of the plan should include native tree and shrub planting. The approved scheme shall thereafter be implemented within 3 months of the first use of the development hereby approved or within the first available tree planting season,; and any trees or shrubs removed, dying or becoming severely damaged or becoming severely diseased within five years of planting shall be replaced by trees or shrubs of a similar size or species to those originally required to be planted.
Reason. Details not submitted at application stage. To secure the satisfactory development of the site and in the interests of residential and visual amenity pursuant to Policies EN1/2 - Townscape and Built Design and RT3/5 - Noisy Sports of the Bury Unitary Development Plan and chapter 15 - Conserving and enhancing the natural environment of the NPPF.
13. No development shall commence unless and until a 'Construction Traffic Management Plan' (CTMP), has been submitted to and approved by the Local Planning Authority and shall confirm/provide the following:
 - Dilapidation survey, to a scope to be agreed, of the footways and carriageways abutting the sites in the event that subsequent remedial works are required following construction of the development;
 - Access point and arrangements for all construction traffic from Walshaw Road;
 - In connection with the above, assessment and swept path analysis of the existing junction of the access with Walshaw Road and route through the site in terms of their ability to accommodate the size of construction vehicles anticipated to be generated by the proposed development, including all

permanent/temporary measures and/or highway works required on and off the adopted highway to ensure the safe operation of the junction and access route during construction;

- Hours of operation and number of vehicle movements;
- A scheme of appropriate warning/construction traffic speed signage in the vicinity of both sites and their accesses;
- Arrangements for the turning and manoeuvring of vehicles within the curtilage of both sites/at the cul-de-sac end of Morris Street, including any requisite phasing of the development to accommodate this;
- Parking on site of or on land within the applicant's control of operatives' and construction vehicles together with storage on site of construction materials, including any requisite phasing of the development to accommodate this;
- Measures to ensure that all mud and other loose materials are not carried on the wheels and chassis of any vehicles leaving the site and measures to minimise dust nuisance caused by the operations.

The approved plan shall be adhered to throughout the demolition/construction periods and the measures shall be retained and facilities used for the intended purpose for the duration of both periods. The areas identified shall not be used for any other purposes other than the turning/parking of vehicles and storage of construction materials.

Reason. Information not submitted at application stage. To mitigate the impact of the construction traffic generated by the proposed development on the adjacent residential streets, and ensure adequate off street car parking provision and materials storage arrangements for the duration of the construction period and that the adopted highways are kept free of deposited material from the ground works operations, in the interests of highway safety pursuant to Bury Unitary Development Plan Policies EN1/2 - Townscape and Built Design and HT6/2 - Pedestrian/Vehicular Conflict.

For further information on the application please contact **Jennie Townsend** on **0161 253-5320**



Production Date: 10 May 2019

Scale 3000 *when printed at A4*

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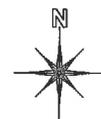
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Notes

ARTIFICIAL GRASS PITCH (AGP) PROPOSAL



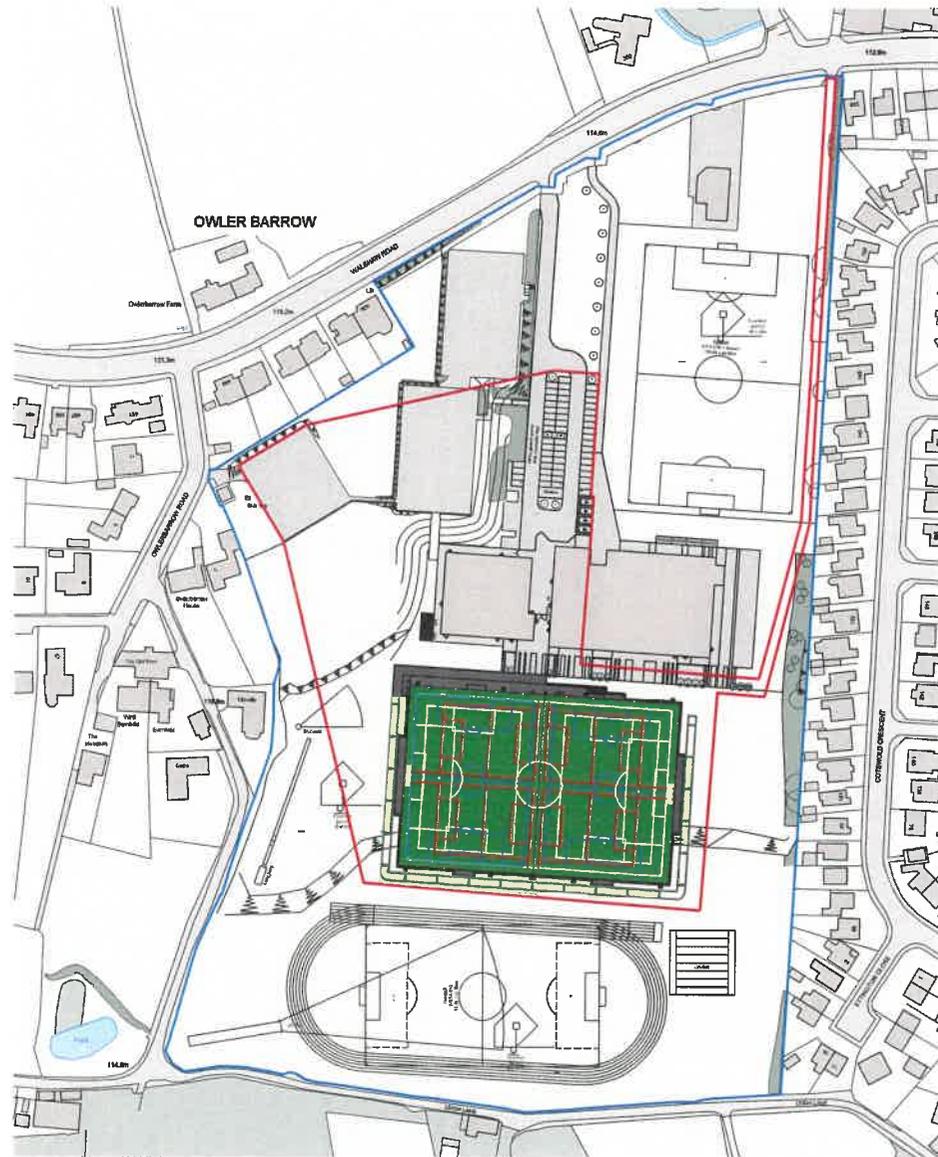
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 CHECK: SETTING OUT PRIOR TO COMMENCEMENT OF WORK
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 Tel: 01453 990 120
 Email: info@labosport.co.uk
 Website: www.labosport.co.uk

PROJECT	THE ELTON HIGH SCHOOL
DESCRIPTION	ARTIFICIAL GRASS PITCH (AGP)
AGP ADDITIONAL LANDSCAPING	
DATE	00
SCALE	1:100
DRAWN BY	18-0360 BM25583 0424 12

ARTIFICIAL GRASS PITCH (AGP) PROPOSAL, APPLICATION SITE AREA, TEMPORARY CONSTRUCTION ACCESS AND APPLICANTS OWNERSHIP BOUNDARY



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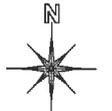
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THE ELTON HIGH SCHOOL
 ARTIFICIAL GRASS PITCH (AGP)

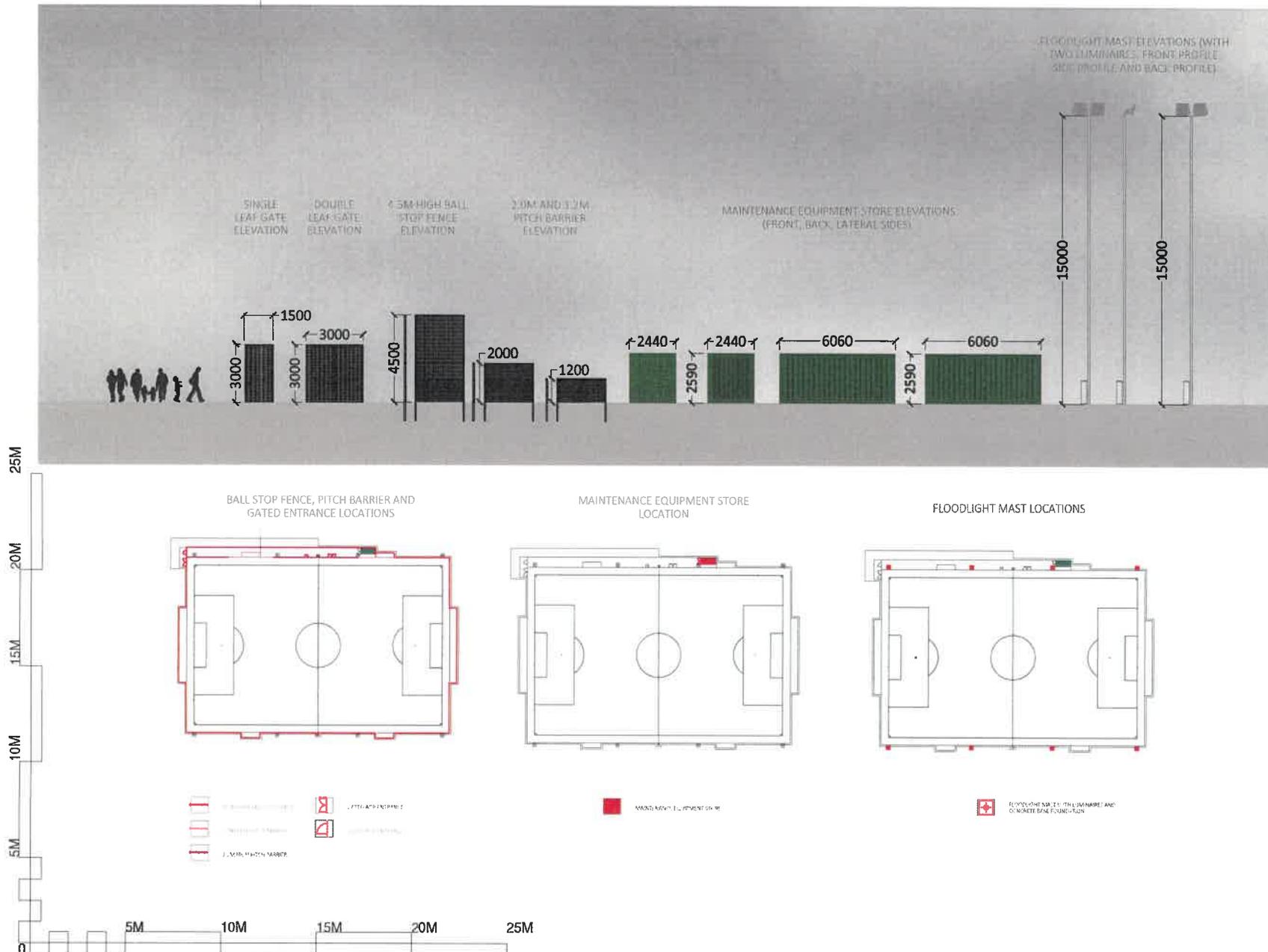
SITE PLAN

PLAN NO.	02
DATE	18-03-2010

18-0360 BM25583 0424 02

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SINGLE LEAF GATE ELEVATION / DOUBLE LEAF GATE ELEVATION / 4.5M HIGH BALL STOP FENCE ELEVATION / 2.0M AND 1.2M PITCH BARRIER ELEVATION / MAINTENANCE EQUIPMENT STORE ELEVATIONS (FRONT, BACK, LATERAL SIDES) / FLOODLIGHT MAST ELEVATIONS (WITH TWO LUMINAIRES, FRONT PROFILE, SIDE PROFILE AND BACK PROFILE)



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THE ELTON HIGH SCHOOL
 ARTIFICIAL GRASS PITCH (AGP)

AGP FIXED EQUIPMENT ELEVATIONS

DATE	18-03-20	00
PROJECT NO.	18-0360	BM25583 0424 07

Ward: Bury West - Elton

Item 05

Applicant: Ms Sharon Holt

Location: Land north of Green Street, Bury, BL8 1TF

Proposal: Erection of 2 no. semi-detached dwellings

Application Ref: 63834/Full

Target Date: 03/05/2019

Recommendation: Approve with Conditions

Description

The application site relates to a plot of land located on Green Street, a short cul de sac off Tottington Road. The land was formally the car park for the adjacent Globe Pub which has recently been granted permission for conversion to 2 residential units with an office element in part of the ground floor. It is understood conversion works are underway. The car park is now in a separate ownership and no longer associated with this property.

The site is separated from 'The Globe' by a setted paved access which leads to a single storey commercial outbuilding currently being used for storage which is located behind the site. The south east side of Green Street is characterised by traditional terraced properties, with No 1 Green Street in a former commercial use, now vacant. To the south west of the site, directly adjacent and separated by a timber panelled boundary fence are Nos 2-6 Green Street, a pair of more modern semi detached and a single detached property. To the rear of the site are houses on Lomond Drive which are screened by trees and a fence along this boundary.

The application seeks to develop the site to provide a pair of 4 bed semi-detached dwellings. The dwellings would be 2 storey with a rear dormer for a room in the roofspace. A 2 storey side outrigger would be added which would be slightly lower in height to the main build and set back from the front elevation, accommodating a garage and bedroom above. Living accommodation would be located on the rest of the ground floor and bedrooms above.

Each property would have its own access off Green Street which would lead to a driveway for 2 cars and the single garage. At the rear, a patio and garden area would provide private outdoor amenity space. Access would be retained to the outbuilding at the rear of the site which is outside the application area.

Relevant Planning History

62205 - Erection of 4 dwellings at land north of Green Street, Bury. Withdrawn - 16 January 2018

63095 - Erection of 4 dwellings at land north of Green Street, Bury. Withdrawn - 13 September 2018

Adjacent site

61527 - Conversion of public house/bistro into 2 no. residential units at The Globe Inn, 325 Tottington Road, Bury. Withdrawn - 21 July 2017.

61758 - Change of use of former public house/bistro (Class A4) to 2 no. residential units (Class C3) and change of use of part of ground floor to office (Class A2) with external alterations at 325 Tottington Road, Bury. Approved with conditions - 14 September 2017

Publicity

The neighbouring properties were notified by means of a letter on 8/3/2019.

6 letters have been received from the occupiers of Nos 1, 5, 6, 7, 15 Green Street, Ballan Family Trust, which have raised the following issues:

- Parking on Green Street is very congested. The residents and businesses on Green Street and residents and businesses on Tottington Road all park on Green Street.
- Do not object to building new houses on brownfield sites, this is preferable to the green belt, however the developers do not seem to have taken concerns into account and still plan to block access to a large proportion of the on street parking
- I would also like to hear from the developers regards how they would respect current residents access and daily lives during the build.
- The proposed development would reduce on-street parking.
- The proposed development should include 8 - 10 spaces in a car park for use by residents and the public.
- In addition to residents, there is a large substation at the end of the street and access is required
- The height of the proposed dwellings will reduce light into my property in the afternoon.
- Concern about access by the emergency services.
- The best option for this land would be for the Council to buy it and build a car park for use by Green Street residents.
- Concern that the proposed residential use would affect the long standing commercial uses in the area.
- There is a mix of residential properties and businesses on Green Street. A further 2 houses will impact upon quality of life.
- The proposed three storey houses are not in keeping and out of scale for the street.
- The former public house, The Globe, is currently being converted with no parking facilities.
- The only turning facilities are outside my property and concerns about increased disturbance.
- Loss of privacy.
- The 'outbuilding' indicated on the proposed plan is rented and currently used for storage but in the past used for other commercial activities. Concern the plans would affect the long standing commercial use of the building.
- The developer has removed our fence without permission.

The neighbouring properties and objectors have been notified of revised site layout plans on 12 April 2019.

2 letters have been received from the occupiers of Nos 1, 6 Green Street which have raised the following issues;

- Due to the vehicle access required for the proposed houses, there would be a net loss of 2 parking spaces on the north side of the street. This is not acceptable.
- Unless there's no loss of the existing amount of space, or the development includes additional public parking space (thus, increasing the amount), then the proposed development is unviable.
- Permit parking should be considered as vehicles from surrounding streets regularly park on Green Street.
- Over development - There is a mix of residential properties and businesses on Green Street. A further 2 houses will impact upon quality of life and safety.
- The proposed three storey houses are not in keeping and out of scale for the street.
- The former public house, The Globe, is currently being converted with no parking facilities. Infact, the proposed plot was the original car park for the pub.
- The only turning facilities are outside my property and concerns about increased disturbance.
- Emergency services continue to have ongoing difficulties getting their service vehicles into the street due to lack of space. This street also has an Electrical Sub Station that

- requires 24/7 entry.
- Most properties have 2+ cars and the street cannot sustain the amount of properties/traffic that use the street.
- Loss of privacy.

The objectors have been informed of the Planning Control Committee meeting.

Statutory/Non-Statutory Consultations

Traffic Section - No objection subject to conditions.

Drainage Section - No response received.

Environmental Health - Contaminated Land - No objection subject to conditions

Waste Management - No response received.

United Utilities - No objection in principle subject to a drainage condition. To note there is a public sewer which crosses the site.

Pre-start Conditions - Applicant/Agent has agreed with pre-start conditions

Unitary Development Plan and Policies

H1/2	Further Housing Development
H2/1	The Form of New Residential Development
H2/2	The Layout of New Residential Development
EN1/1	Visual Amenity
EN1/2	Townscape and Built Design
EN1/3	Landscaping Provision
EN5/1	New Development and Flood Risk
EN7	Pollution Control
EN7/2	Noise Pollution
EN7/3	Water Pollution
EN7/5	Waste Water Management
HT2/4	Car Parking and New Development
HT6/2	Pedestrian/Vehicular Conflict
SPD6	Supplementary Planning Document 6: Alterations & Extensions
SPD11	Parking Standards in Bury
NPPF	National Planning Policy Framework

Issues and Analysis

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning considerations. The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP Policy will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

Principle

The National Planning Policy Framework should be treated as a material planning consideration and it emphasises the need for local planning authorities to boost the supply of housing to meet local housing targets in both the short and long term. There is a particular emphasis, as in previous national planning guidance, to identify a rolling five year supply of deliverable housing land.

Bury's Strategic Housing Land Availability Assessment sets out the latest housing supply position, which is made up with sites that have an extant planning permission and sites that have potential to obtain planning permission in the future. This shows that there are a number of sites within the Borough with the potential to deliver a significant amount of housing. However, not all of these sites will contribute to the five year supply calculations as many sites will take longer than five years to come forward and be fully developed (e.g. some large sites could take up to ten years to be completed). As such, latest monitoring

indicates that the Council is unable to demonstrate a five year supply of deliverable housing land and this needs to be treated as a material factor when determining applications for residential developments.

Policy H1/2 states that the Council will have regard to various factors when assessing a proposal for residential development, including whether the proposal is within the urban area, the availability of infrastructure and the suitability of the site, with regard to amenity, the nature of the local environment and the surrounding land uses.

The site is located within the urban area and there is residential development to the east, west and south. As such, the proposed development would not conflict with the surrounding land uses. The site was previously used as a car park with the former adjacent pub and as such, would be previously developed land. Therefore, the proposed development would be acceptable in principle and would be in accordance with Policy H1/2 of the Bury Unitary Development Plan and the NPPF.

UDP Policies H2/1 - The Form of New Residential Development and H2/2 - The Layout of New Residential Development takes into consideration factors relating to the height and roof type of adjacent buildings, the impact of developments on residential amenity, the density and character of the surrounding area and the position and proximity of neighbouring properties. Regard is also given to parking provision and access, landscaping and protection of trees/hedgerows and external areas.

Supplementary Planning Document 6 - Alterations and Extensions to Residential Properties provides useful guidance in terms of acceptable aspect standards between dwellings and design criteria.

Details of the application and acceptability of the development regarding layout, design, access and parking are considered below.

Layout

The proposed dwellings would front Green Street, set back into the site from the highway by 8m and staggered just behind the front elevations of Nos 2-6 Green Street, and as such considered to have a comparable footprint relationship within the context of the street scene as the existing houses on this side of the street.

The proposed dwellings would have a patio and rear garden between approximately 10.5m and 11.5m in length and the level of private amenity space would be acceptable. There would be space within the rear and side garden for bin storage. The existing boundary fencing would be retained and a 1.8m fence would separate the gardens of the 2 dwellings at the rear and a 1.8m high fence would be erected behind the garden of Plot B to the outbuilding at the rear.

Access to the plots would be provided by a separate driveway which would lead to a driveway for the parking of 2 cars and a single garage which would be attached to the side of each property.

The access to the outbuilding behind plot B is outside the application site and would be retained and use of this building would not be affected by the development.

The proposed layout plan demonstrates that the proposed dwellings and associated requirements in terms of parking and amenity area could be successfully accommodated within the site and would sit relative within the context of the street scene.

As such, the layout is considered acceptable and would be in accordance with Policies EN1/2, H2/1 and H2/2 of the Bury Unitary Development Plan.

Design and appearance - Fronting Green Street, the dwellings would be 2 storey in height with a 2 storey outrigger to the side and room in the roofspace incorporated within dormers

which would be located on the rear roof plane.

The 2 storey outriggers proposed at the side of each dwelling would add some scale and massing of what are essentially fairly modest semi-detached dwellings. However, the outriggers would be approximately 1m lower than the main part of the dwellings and set back from the front elevation and as such considered to be subservient additions. Moreover, these side elements would be typical in size and appearance to other 2 storey side extensions which are added to semi-detached properties and which are prevalent throughout the Borough. The dwellings would also be set back from Green Street by 8m and therefore considered would not be dominant and overbearing to the street scene.

The proposed dwellings would have a room in the roofspace, but would have the appearance of being 2 storey from Green Street as the ridge height of the proposed dwellings would only be slightly higher than Nos 2 and 4 by approximately 1.2m and the eaves level would also follow through at the same height as the adjacent houses. The dormers would be on the rear elevation, would not project beyond the main roof ridge and given the setback of the properties into the site, the dormers would not be perceptible or visible to public views. It is therefore considered that the height and scale of the dwellings would maintain the rhythm and symmetry in the street scene.

The proposed dwellings would be constructed from brick and grey concrete roof tiles with stone headers, cills and front canopies to add visual interest to the elevations and not dissimilar in design to the adjacent houses, Nos 2 -6 Green Street. There are a variety of materials in the locality comprising brick, render and painted blockwork and as such, it is considered that the proposed materials would be acceptable and characteristic of the surrounding area. Details of the materials would be sought by condition.

As such, it is considered that the scale and design of the proposed dwellings would be appropriate within the context of the area and would comply with UDP Policies H2/1 - The Form of New Residential Development and EN1/2 - Townscape and Built Design.

Impact upon residential amenity

SPD6 provides guidance on aspect standards between residential properties and would be relevant in this case. SPD6 states that a minimum distance of 20m should be maintained between habitable room windows, plus 3m for every additional storey or difference in levels, 13m between habitable room windows and a 2 storey blank wall and 6.5m relationship between a habitable room window and blank wall.

The property's opposite which would face the development would be Nos 1 and 3 Green Street. No 1 is a vacant property, and has a historical use as a workshop with part of the building a shop front type appearance, also vacant. Above, there are windows to what are either associated storage/offices or residential flats. It is unclear if these are used/habited. No 3 Green Street is a terraced property and has a window at ground and first floor to habitable rooms.

The proposed site plan demonstrates there would be 18m between the proposed dwellings and Nos 1 and 3 Green Street. It is noted that all but one window on the front elevations of the proposed dwellings would relate to a kitchen, bathroom or en-suite, which would not be habitable rooms in planning terms and therefore a separation of 18m would be acceptable. However, the window to bedroom 3 would be classed as habitable and requires a justification for a reduced aspect standard.

There are already sub-standard distances on Green Street, with a separation of 16m between Nos 2-6 Green Street and the terraced houses opposite. Nos 2-6 have a more conventional layout than the proposed dwellings, with habitable room windows at ground and first floor on the frontage, whereas the proposed dwellings would have one habitable room window at 1st floor only. As the proposed dwellings would be set back a further 2m, equating to a separation of 18m, the relationship to the properties opposite would be less harmful to privacy than already exists on the street.

The proposed development would be set back from Green Street by 8m and the front gardens, driveways and intervening street would give some perception of separation and space between the site and the properties opposite.

As there would only be one window in each of the new properties to a habitable room, and given there would be 18m separation and that there are already sub-standard distances between the other dwellings on the street, it is considered that overlooking and privacy would not be significant to adversely affect the residential amenity of the properties opposite. On balance and in view of these factors, it is considered that the proposed development would be acceptable.

In relation to the adjacent property, No 2 Green Street, the proposed dwellings would be set back from the front elevation of this property by approximately 2m, with the 2 storey element a further 1m back, and as such there would not be a significant adverse impact on overshadowing or outlook from the front of this property. At the rear, the proposed dwellings would more or less follow the same building line as the rear elevation of No 2 Green Street and as such there would not be an impact from the built development in terms of overshadowing or privacy.

Beyond the rear boundary of the site are Nos 1 and 3 Lomond Drive which are set at an oblique angle to the site. There would be a separation distance of over 23m between the rear elevations of each property and taking into account the additional 'storey' created by the dormer, aspect standards would be suitably satisfied.

The property to the east was formally a public house and has planning permission for its conversion to 2 no. residential units and part ground floor office use. The approved plan demonstrates that the rear window which would face the site would be to a bedroom. SPD6 requires a distance of 6.5m between a 1st floor habitable room window and a 2 storey blank wall, which in this case would be the side of the proposed outrigger to Plot B. There would be a separation of 13.5m between the two properties and as such aspect standards satisfied.

As such, it is considered that there would not be a significant detrimental impact on residential amenity and the development would be in compliance with UDP Policies.

Highways issues

Access

Each property would have a separate access off Green Street and would lead to a driveway where there would be adequate space for a car to manoeuvre and exit the site in a forward gear. Whilst Green Street is a fairly narrow cul de sac, it is considered that 2 additional dwellings would not significantly increase traffic on the street and would not adversely impact on highway safety.

Access to the outbuilding located to the rear of the site would be maintained and would be unaffected by the development proposals.

The Highway's section have no raised no objection to the proposal in principle, subject to conditions which would include further approval of highway works to the footway and provision of the parking prior to the occupation of the dwellings. Therefore, the proposed development would not be detrimental to highway safety and would be in accordance with Policies H2/1, H2/2 and HT6/2 of the Bury Unitary Development Plan.

Parking

SPD11 states that the maximum number of parking spaces is 3 spaces per 4 bed dwelling.

The proposed site plan indicates that 2 parking spaces would be provided within the driveway area and there would also be a single garage for each dwelling, which totals 3 spaces. A number of objections relate to the problems of parking already experienced on

Green Street, especially as the adjacent pub on Tottington Road has been converted and that the development would add to parking issues on the street. Objectors also raised the issue that the development should provide parking for the residents and public in the area.

It is not in the gift of the residents on Green Street to use this land for parking nor for the development to provide parking for residents on Green Street. The residents of the terraced houses on the street have always had to park on street and this would not change. The fact that some may use the land at the moment is not a material planning consideration as it is not in their ownership to do so.

In terms of the pub conversion, this application was assessed on its own merits and it was concluded that parking for the residential units would not be necessary due to the sustainable location of the property, 'buyer beware' and that the then closed pub with accommodation could re-open at any time without the need for planning permission and without the car park. A space was provided for the office use.

It is therefore considered that given the development would provide in-curtilage parking for each property, its close proximity to Tottington Road which has good access to public transport and is in a sustainable location, the level of parking provision would be acceptable. Therefore, the proposed development would be in accordance with Policies H2/2 and HT2/4 of the Bury Unitary Development Plan and SPD11.

Drainage - United Utilities have been consulted on the proposals. A public sewer crosses this site and United Utilities require an access strip width of 6m, 3m either side of the centreline. It is the applicant's responsibility to demonstrate the exact relationship between any United Utilities' assets and the proposed development.

It is understood that the applicant has been in contact with UU and the siting of the proposed development has taken into account the location of the sewer pipe.

Notwithstanding the location of the sewer, United Utilities do not have an objection in principle to the proposed development, subject to a conditions that foul and surface water are drained on separate systems and surface water drained in accordance with the hierarchy of drainage options.

Response to objectors

- The proposed plans show a 1.8m high fence to the perimeter of the outbuilding adjacent to the garden boundary of Plot B.
- Access to and use of the 'outbuilding' would not be affected by the proposed development. It is a private matter for future occupiers of Plot B to be aware of the location and potential activity associated with this building.
- A Construction Traffic Management Plan would be required by condition to identify provision for construction vehicles and materials storage, for approval by the LPA.
- All the other objections raised with regards to parking, access, design and scale of the dwellings and impact on residential amenity have been covered in the above report.

Statement in accordance with Article 35(2) Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2015

The Local Planning Authority worked positively and proactively with the applicant to identify various solutions during the application process to ensure that the proposal comprised sustainable development and would improve the economic, social and environmental conditions of the area and would accord with the development plan. These were incorporated into the scheme and/or have been secured by planning condition. The Local Planning Authority has therefore implemented the requirement in Paragraph 38 of the National Planning Policy Framework.

Recommendation: Approve with Conditions

Conditions/ Reasons

1. The development must be begun not later than three years beginning with the date of this permission.
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.
2. This decision relates to drawings - Red edge site location received 26 February 2019; Proposed existing site layout - 19-06-Site B; Proposed site layout plan dwg 19-06-C; Site layout - drainage dwg 19-06-drainage; Ground floor plan - 19-06-01; First floor plan 19-01-02; Second floor plan - 19-06-03; Elevations - 19-06-04; Semi-detached house elevations - 19-06-05. and the development shall not be carried out except in accordance with the drawings hereby approved.
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.
3. No development shall commence unless and until:-
 - A contaminated land Preliminary Risk Assessment report to assess the actual/potential contamination and/or ground gas/landfill gas risks at the site shall be submitted to, and approved in writing by, the Local Planning Authority;
 - Where actual/potential contamination and/or ground gas/landfill gas risks have been identified, detailed site investigation and suitable risk assessment shall be submitted to, and approved in writing by the Local Planning Authority;
 - Where remediation/protection measures is/are required, a detailed Remediation Strategy shall be submitted to, and approved in writing by, the Local Planning Authority.Reason. The scheme does not provide full details of the actual contamination and subsequent remediation, which is required to secure the satisfactory development of the site in terms of human health, controlled waters, ground gas and the wider environment and pursuant to National Planning Policy Framework Section 15 - Conserving and enhancing the natural environment.
4. Following the provisions of Condition 3 of this planning permission, where remediation is required, the approved Remediation Strategy must be carried out to the satisfaction of the Local Planning Authority within agreed timescales; and A Site Verification Report detailing the actions taken and conclusions at each stage of the remediation works, including substantiating evidence, shall be submitted to and approved in writing by the Local Planning Authority prior to the development being brought into use.
Reason. To secure the satisfactory development of the site in terms of human health, controlled waters and the wider environment and pursuant to National Planning Policy Framework Section 15 - Conserving and enhancing the natural environment.
5. No development shall commence unless and until a 'Construction Traffic Management Plan' (CTMP), has been submitted to and approved by the Local Planning Authority and shall confirm/provide the following:
 - Access route for construction traffic from the highway network and restricted to a size of vehicle that can be accommodated on Green Street that serves the site;
 - Hours of operation and number of vehicle movements;
 - Parking on site of operatives' and construction vehicles together with storage on site of construction materials, including any requisite phasing of the development to accommodate this.
 - Measures to ensure that all mud and other loose materials are not carried on the wheels and chassis of any vehicles leaving the site and measures to

minimise dust nuisance caused by the operations.

The approved plan shall be adhered to throughout the demolition/construction period and the measures shall be retained and facilities used for the intended purpose for the duration of the demolition and construction periods. The areas identified shall not be used for any other purposes other than the turning/parking of vehicles and storage of demolition/construction materials.

Reason. Information not submitted at application stage. To mitigate the impact of the construction traffic generated by the proposed development on the adjacent residential streets, and ensure adequate off street car parking provision and materials storage arrangements for the duration of the construction period and that the adopted highways are kept free of deposited material from the ground works operations, in the interests of highway safety pursuant to Bury Unitary Development Plan Policies EN1/2 - Townscape and Built Design and HT6/2 - Pedestrian/Vehicular Conflict.

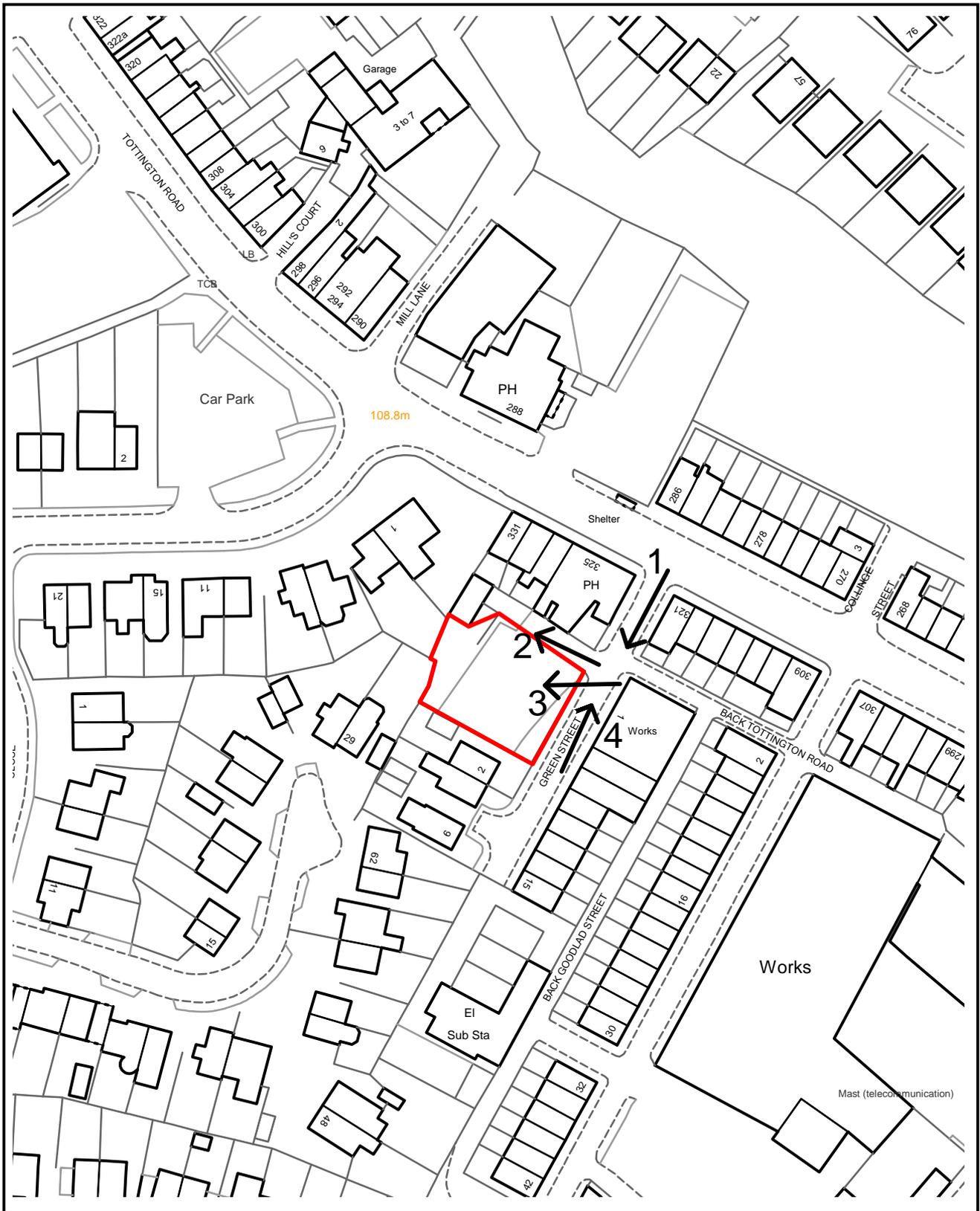
6. Notwithstanding the details shown indicatively on approved plan reference 19-06-Proposed Site B, the development hereby approved shall not be commenced unless and until the position of the footway crossings serving both dwellings, along with the scope of the proposed highway works required as a result of the proposed development have been agreed on site. The works subsequently approved, incorporating the reconstruction of the Green Street footway abutting the site and the demarcation of the limits of the adopted highway, shall be implemented to a specification to be agreed and to the written satisfaction of the Local Planning Authority prior to occupation of the development hereby approved.
Reason. Information not submitted at application stage. To ensure good highway design and maintain the integrity of the adopted highway, in the interests of highway safety pursuant to Bury Unitary Development Plan Policies H2/2 - The Layout of New Residential Development, EN1/2 - Townscape and Built Design and HT6/2 - Pedestrian/Vehicular Conflict.
7. The turning facilities indicated on approved plan reference 19-06-Proposed Site B shall be provided before the dwellings are first occupied and the areas used for the manoeuvring of vehicles shall subsequently be maintained free of obstruction at all times.
Reason. To minimise the standing and turning movements of vehicles on the highway in the interests of road safety pursuant to Bury Unitary Development Plan Policies H2/2 - The Layout of New Residential Development, EN1/2 - Townscape and Built Design and HT6/2 - Pedestrian/Vehicular Conflict.
8. The car parking indicated on approved plan reference A1826-PS-SP01 Revision A shall be surfaced in a material, or incorporate measures, that prevents the discharge of surface water onto the adopted highway and be made available for use to the written satisfaction of the Local Planning Authority prior to the development hereby approved being occupied and thereafter maintained at all times.
Reason. To ensure adequate off street car parking provision in the interests of road safety pursuant to policies H2/2 - The Layout of New Residential Development, EN1/2 - Townscape and Built Design and HT2/4 - Car Parking and New Development of the Bury Unitary Development Plan.
9. Foul and surface water shall be drained on separate systems.
Reason. To promote sustainable development and reduce flood risk pursuant to Unitary Development Plan Policies EN5/1- New Development and Flood Risk , EN7/3 - Water Pollution and EN7/5 - Waste Water Management and chapter 14 - Meeting the challenge of climate change, flooding and coastal change of the NPPF.

10. Surface water shall be drained in accordance with the hierarchy of drainage options in national planning practice guidance. In the event of surface water discharging to public sewer, the rate of discharge shall be restricted to the lowest possible rate which shall be agreed with the statutory undertaker prior to connection to the public sewer.
Reason. To promote sustainable development and reduce flood risk and pollution pursuant to Unitary Development Plan Policies EN5/1- New Development and Flood Risk , EN7/3 - Water Pollution and EN7/5 - Waste Water Management and chapter 14 - Meeting the challenge of climate change, flooding and coastal change of the NPPF.

11. Details/Samples of the materials to be used in the external elevations, together with details of their manufacturer, type/colour and size, shall be submitted to and approved in writing by the Local Planning Authority before the development is commenced. Only the approved materials shall be used for the construction of the development.
Reason. No material samples have been submitted and are required in the interests of visual amenity and to ensure a satisfactory development pursuant to UDP Policies EN1/2- Townscape and Built Design and H2/1 - The Form of New Residential Development.

For further information on the application please contact **Helen Longworth** on **0161 253 5322**

Viewpoints



PLANNING APPLICATION LOCATION PLAN

APP. NO 63834

ADDRESS: Land north of Green Street
Bury

Planning, Environmental and Regulatory Services

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63834

Plan 1



Plan 2



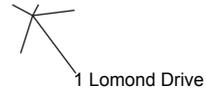
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Plan 3



Plan 4



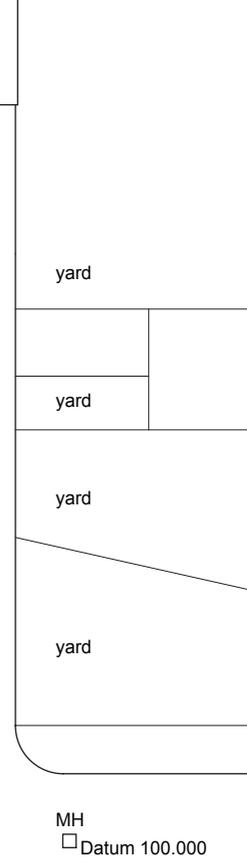
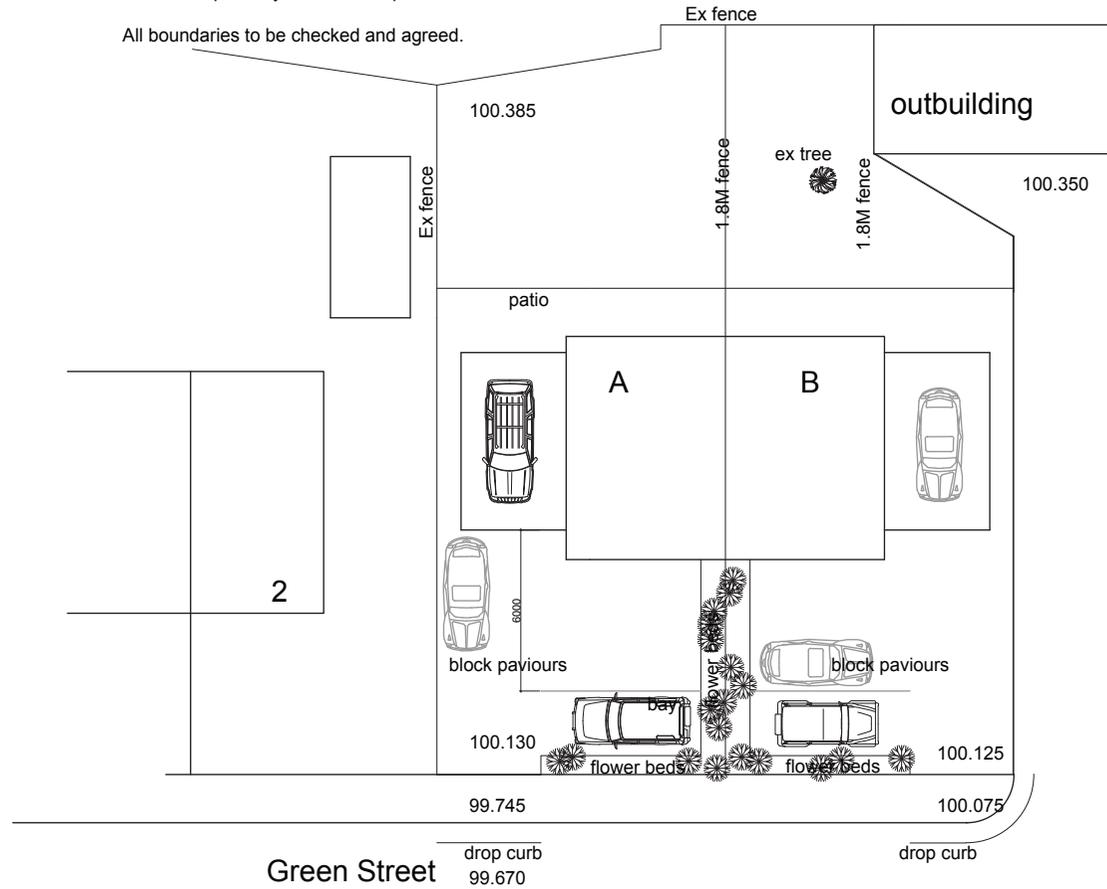


1800mm conc post and timber wany lap fencing to boundaries, with the exception of the frontage onto Green Street which will remain 'open'.

Whole of the frontage to comprise of permeable block paving, providing vehicle hardstanding and access.

Patios and pathways in concrete pavours.

All boundaries to be checked and agreed.



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this drawing is to be read in conjunction with all relevant consultants drawings and documentation. any discrepancies or variations to be notified to the contract administrator before the affected works commence.

all works to be carried out in accordance with current health and safety regulations.

do not scale from prints.

contractor to check all dimensions on site prior to commencement of works.

Amendments

- A Representation of vehicles added March 2019
- B Drop curb added to property entrance April 2019
- C House numbers to adjacent properties added May 2019

client: Green Street, Tottington
 project: Green Street, Tottington
 drawing: Site Layout
 scale: 1/100
 date: January 2019

drawing no.: 19-06-Proposed Site C

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 ramsbottom
 lancashire
 bl0 9an

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No 2 Green Street

325 Tottington Road

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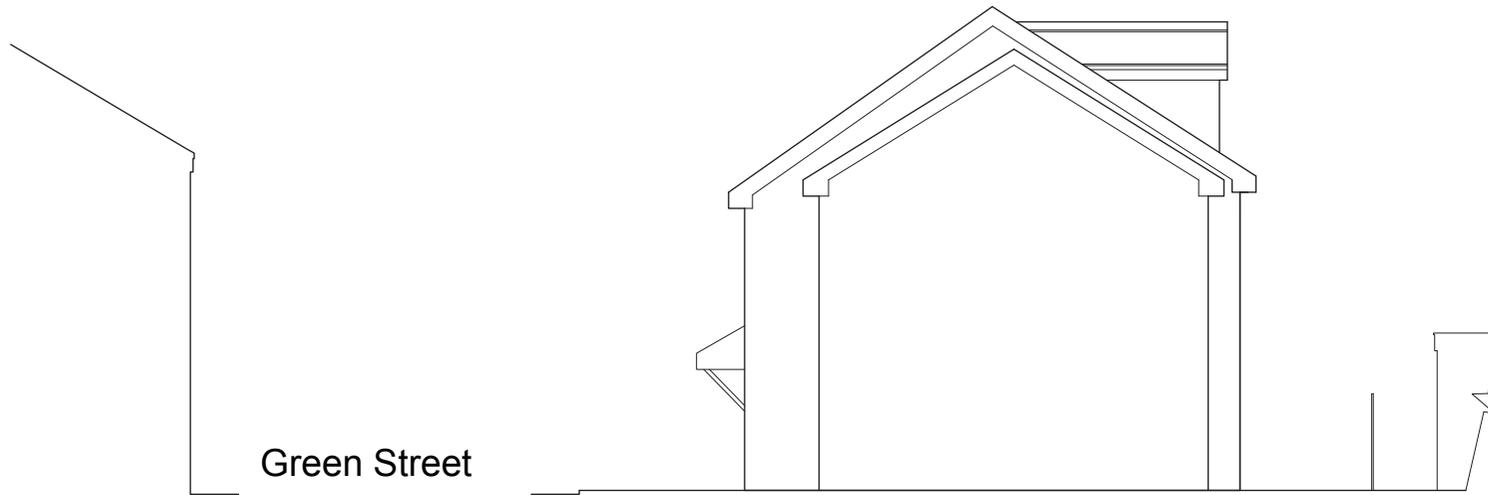
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contractor to check all dimensions on site prior to commencement of works.

View on the frontage toward the proposed houses



Green Street

Elevation section thru the site

client:

project: Green Street, Tottington

drawing: Semi Detached House Elevations

scale: 1/100

date: Jan 2019

drawing no.: 19-06-05

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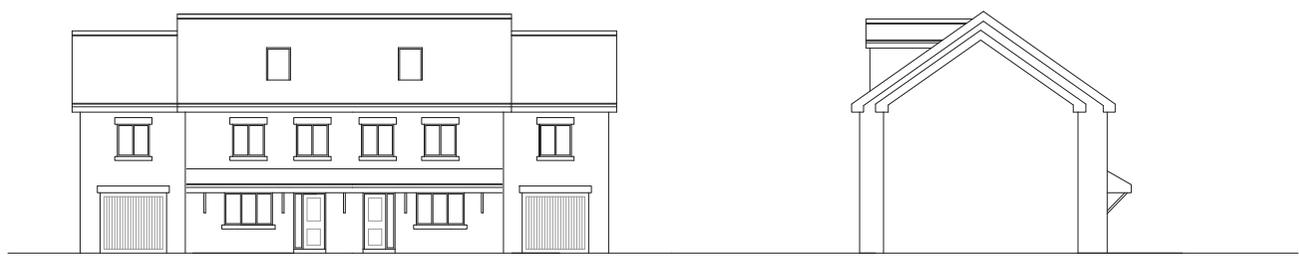
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Contractor to check all dimensions on site prior to commencement of works.



Front

Side



Rear

Side

Cavity construction with outer leaf comprising agreed facing brick.
Stone heads and cills.
Grey concreting interlocking roofing tiles to form roofs
Double glazed upvc window units and doors.

client:
project: Site at Green Street, Tottington
drawing: Elevations
scale: 1/100 date: Jan 2019
drawing no.: 19-06-04

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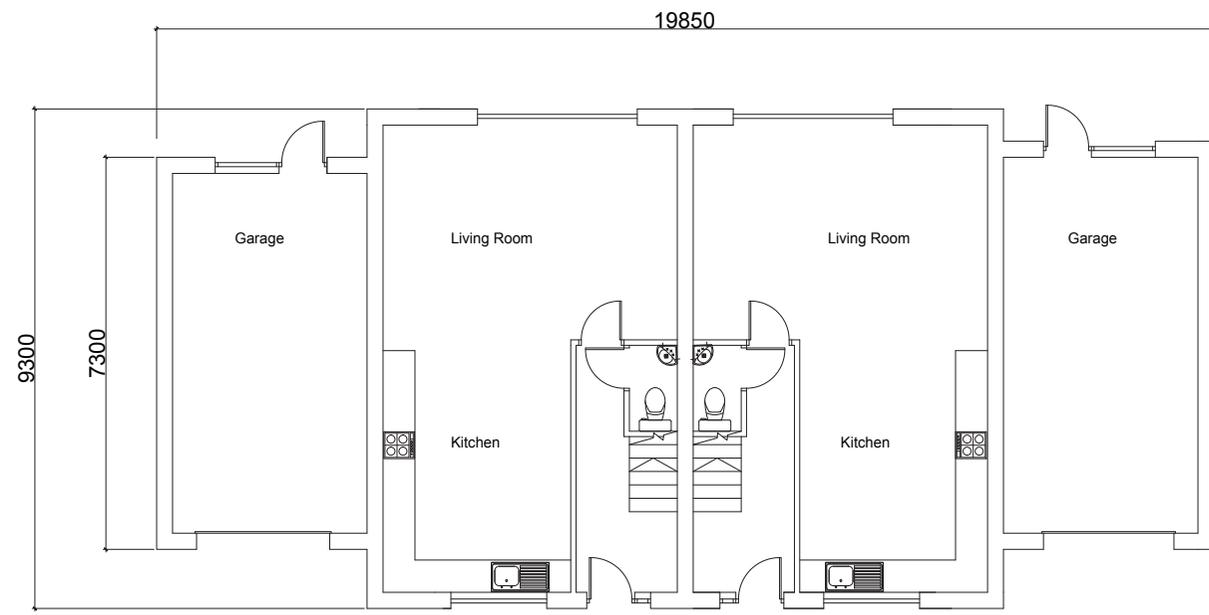
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Contractor to check all dimensions on site prior to commencement of works.



client:

project: Site at Green Street, Tottington

drawing: Ground Floor Plan

scale: 1/50

date: Jan 2019

drawing no.: 19-06-01

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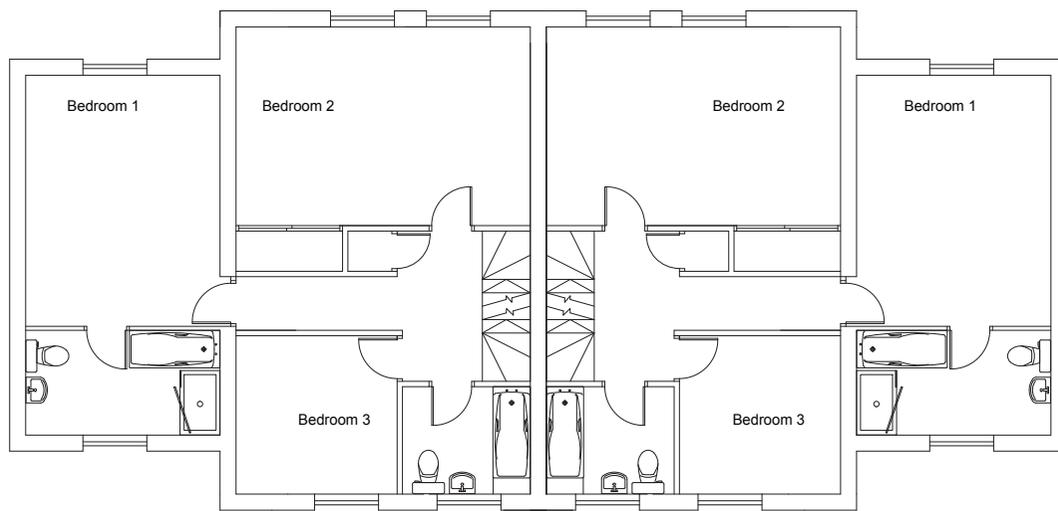
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All works to be carried out in accordance with current health and safety regulations.

Do not scale from prints.

Contractor to check all dimensions on site prior to commencement of works.



client:

project: Site at Green Street, Tottington

drawing: First Floor Plan

scale: 1/50

date: Jan 2019

drawing no.: 19-01-02

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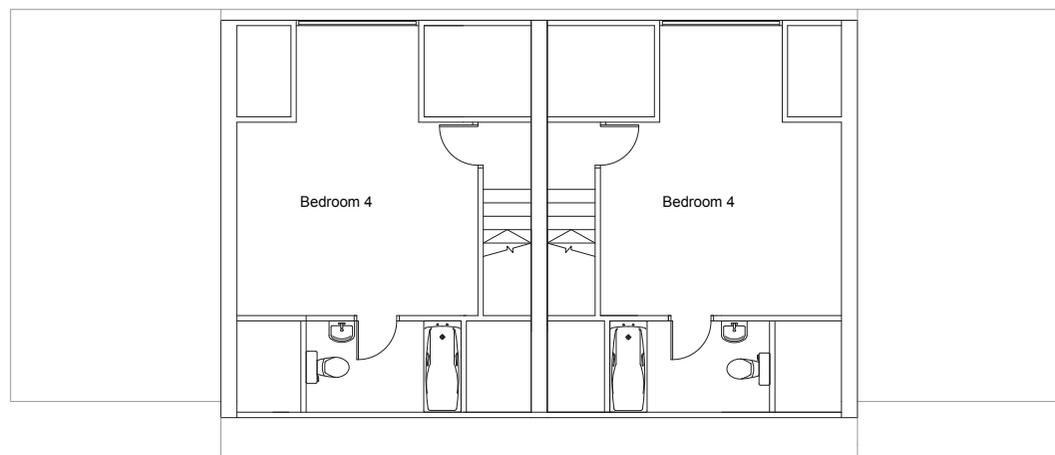
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All works to be carried out in accordance with current health and safety regulations.

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Contractor to check all dimensions on site prior to commencement of works.



client:

project: Site at Green Street, Tottington

drawing: Second Floor Plan

scale: 1/50

date: Jan 2019

drawing no.: 19-06-03

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